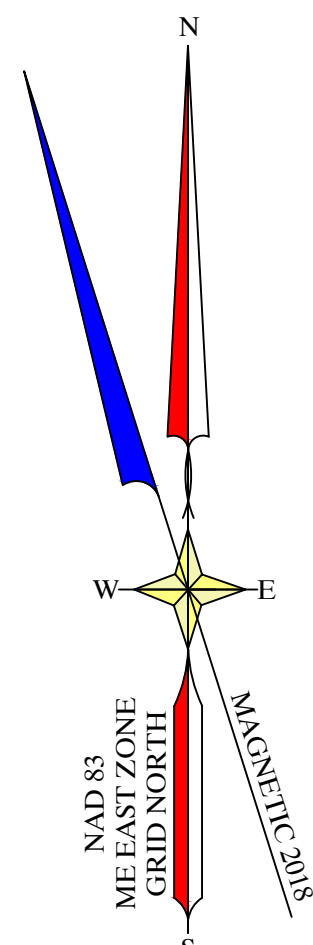


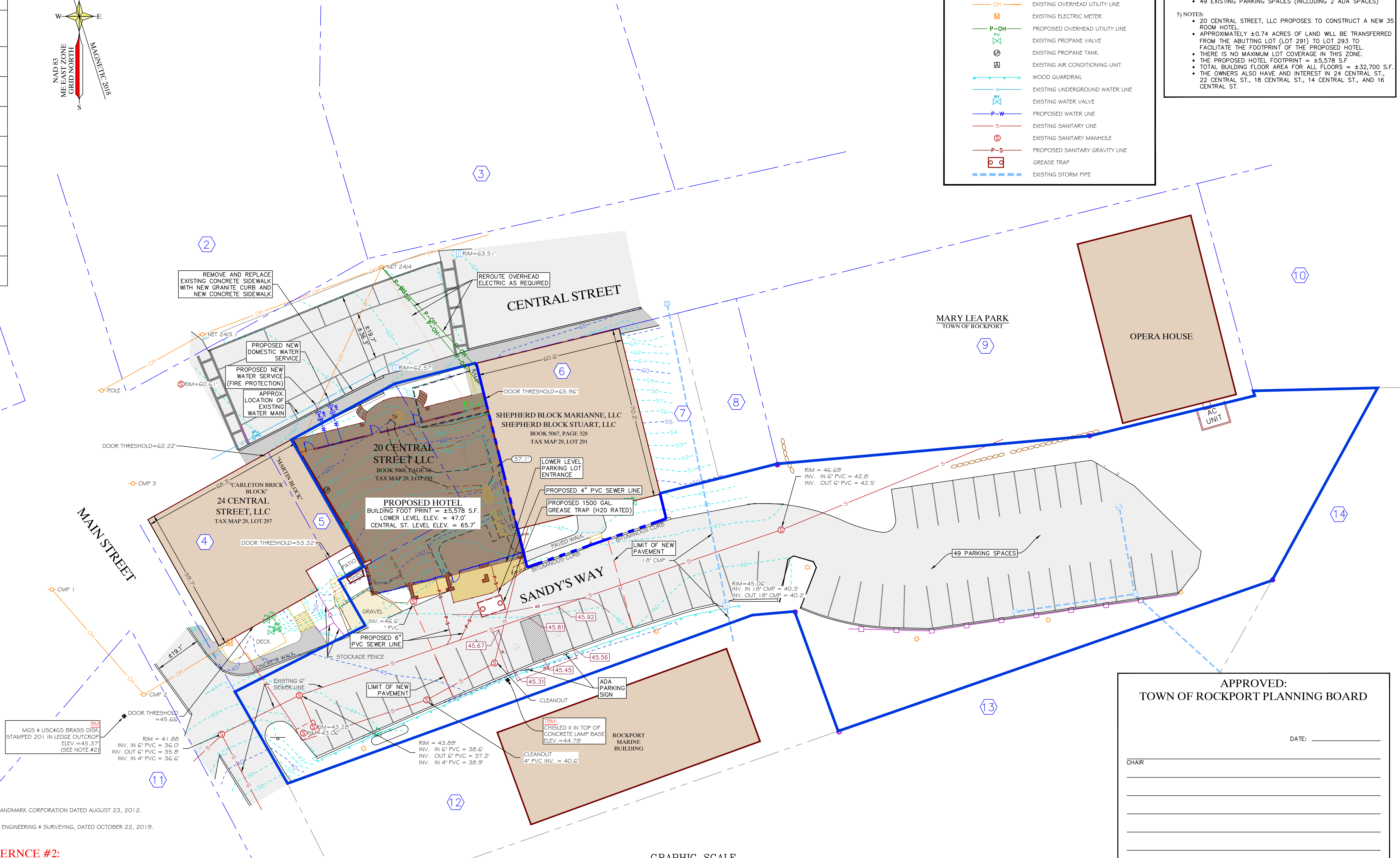
ABUTTING LAND OWNERS	
SYMBOL	OWNER
1	MAP 29 - LOT 131 CHARLES FOOTE P.O. BOX 688 ROCKPORT, ME 04856
2	MAP 29 - LOT 181 TOWN OF ROCKPORT FRANKLIN/CENTRAL STS ROCKPORT, ME 04856-0010
3	MAP 29 - LOT 181 TOWN OF ROCKPORT FRANKLIN/CENTRAL STS ROCKPORT, ME 04856-0010
4	MAP 29 - LOT 287 24 CENTRAL ST, LLC P.O. BOX 812 CAMDEN, ME 04843
5	MAP 29 - LOT 295 STUART G. & MARIANNE W. SMITH P.O. BOX 812 CAMDEN, ME 04843
6	MAP 29 - LOT 291 SHEPHERD BLOCK MARIANNE, LLC SHEPHERD BLOCK STUART, LLC P.O. BOX 812 CAMDEN, ME 04843
7	MAP 29 - LOT 289 14-16 CENTRAL STREET, LLC P.O. BOX 812 CAMDEN, ME 04843
8	MAP 29 - LOT 287 14-16 CENTRAL STREET, LLC P.O. BOX 812 CAMDEN, ME 04843
9	MAP 29 - LOT 285 TOWN OF ROCKPORT OPERA HOUSE ROCKPORT, ME 04856
10	MAP 29 - LOT 283 JOHN H. SUROVEK P.O. BOX 925 ROCKPORT, ME 04856
11	MAP 29 - LOT 309 TOWN OF ROCKPORT P.O. BOX 10 ROCKPORT, ME 04856
12	MAP 29 - LOT 303 FISH & SHIPS, LLC P.O. BOX 203 ROCKPORT, ME 04856-0203
13	MAP 29 - LOT 303 FISH & SHIPS, LLC P.O. BOX 203 ROCKPORT, ME 04856-0203
14	MAP 29 - LOT 301 TOWN OF ROCKPORT HARBOR LOT ROCKPORT, ME 04856



LEGEND	
	SURVEYED PROPERTY LINE
	APPROXIMATE PROPERTY LINE
	FORMER/HISTORIC PROPERTY LINE
	PROPOSED PROPERTY LINE
	IRON ROD FOUND
	IRON PIPE FOUND
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	EXISTING UTILITY POLE
	EXISTING GUY ANCHOR
	EXISTING OVERHEAD UTILITY LINE
	EXISTING ELECTRIC METER
	PROPOSED OVERHEAD UTILITY LINE
	EXISTING PROPANE VALVE
	EXISTING PROPANE TANK
	EXISTING AIR CONDITIONING UNIT
	WOOD GUARDRAIL
	EXISTING UNDERGROUND WATER LINE
	EXISTING WATER VALVE
	PROPOSED WATER LINE
	EXISTING SANITARY LINE
	EXISTING SANITARY MANHOLE
	PROPOSED SANITARY GRAVITY LINE
	GREASE TRAP
	EXISTING STORM PIPE

GENERAL SITE NOTES:

- LOT INFORMATION:
PHYSICAL ADDRESS:
20 CENTRAL STREET
TAX MAP: 29 LOT: 293 & 291 (PORTION OF LOT)
ZONING: ROCKPORT DOWNTOWN (913)
LOT AREA:
LOT 293 = ±0.07 ACRES
LOT 291 = ±0.86 ACRES
DEED: BK. 5068 PG. 66 & BK. 5067 PG. 328
- OWNER & APPLICANT:
ROCKPORT HARBOR HOTEL
20 CENTRAL STREET, LLC
PO BOX 812, CAMDEN, ME 04843
- ENGINEER & SURVEYOR:
GARTLEY & DORSKY ENGINEERING & SURVEYING INC.
59 UNION STREET UNIT 1, P.O. BOX 1031, CAMDEN, ME, 04843
(207) 236-4365
- PARKING:
• 49 EXISTING PARKING SPACES (INCLUDING 2 ADA SPACES)
- NOTES:
• 20 CENTRAL STREET, LLC PROPOSES TO CONSTRUCT A NEW 35 ROOM HOTEL.
• APPROXIMATELY ±0.74 ACRES OF LAND WILL BE TRANSFERRED FROM THE ABUTTING LOT (LOT 291) TO LOT 293 TO FACILITATE THE FOOTPRINT OF THE PROPOSED HOTEL.
• THERE IS NO MAXIMUM LOT COVERAGE IN THIS ZONE.
• THE PROPOSED HOTEL FOOTPRINT = ±5,578 S.F.
• TOTAL BUILDING FLOOR AREA FOR ALL FLOORS = ±32,700 S.F.
• THE OWNERS ALSO HAVE AN INTEREST IN 24 CENTRAL ST., 22 CENTRAL ST., 18 CENTRAL ST., 14 CENTRAL ST., AND 16 CENTRAL ST.

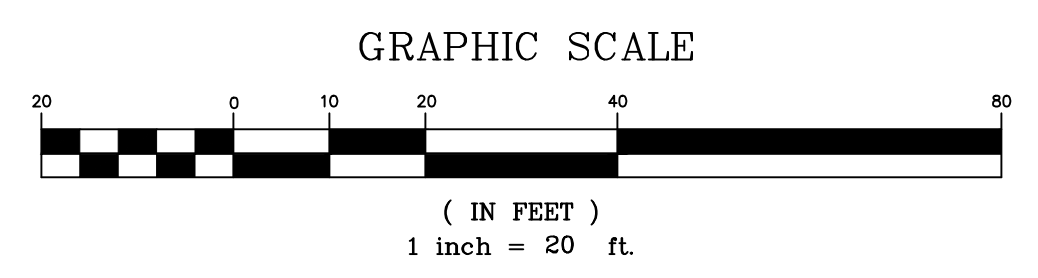


PLAN REFERENCES:

- "SITE PLAN, UNION HALL SHEPHERD BLOCK" BY LANDMARK CORPORATION DATED AUGUST 23, 2012.
- "TOPOGRAPHIC SURVEY," BY GARTLEY & DORSKY ENGINEERING & SURVEYING, DATED OCTOBER 22, 2019.

NOTES FROM PLAN REFERENCE #2:

- THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES ARE TAKEN FROM PLAN REFERENCE #1
- ELEVATIONS ARE REFERENCED TO NAVD 1988 BASED ON STATIC GPS OBSERVATIONS PERFORMED ON JUNE 5, 2015 AND PROCESSED THROUGH THE NATIONAL GEODETIC SURVEYS ONLINE POSITIONING USER SERVICE (OPUS).
- THIS PLAN IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED IN OCTOBER, 2019.



APPROVED:
TOWN OF ROCKPORT PLANNING BOARD

DATE: _____

CHAIR

FOR PERMIT PURPOSES ONLY
NOT FOR CONSTRUCTION

SHEET TITLE: SITE PLAN		DATE: NOVEMBER 12, 2019	NO.
CLIENT/PROJECT: ROCKPORT HARBOR HOTEL 20 CENTRAL STREET, LLC		DRAWN BY: LP	REVISIONS
LOCATION: 20 CENTRAL STREET		CHECKED BY: HSG	
TOWN: ROCKPORT COUNTY: KNOX STATE: MAINE			
59 Union Street, Unit 1, P.O. Box 1031, Camden, ME 04843-1031 Ph: (207) 236-4365 Fax: (207) 236-3055 Toll Free: 1-888-282-4365 105 Main Street Suite 207 P.O. Box 1072, Damariscotta, Maine 04843 Ph: (207) 790-5405			
PROJ. NO. 2018-128		C1	

EROSION & SEDIMENTATION

CONTROL NOTES

IN ORDER TO PROTECT THE SOIL AND WATER RESOURCES OF THIS DEVELOPMENT AND ADJACENT LANDS, THE FOLLOWING ACTIONS SHALL BE TAKEN:

(WHEN CONSTRUCTION IS INITIATED ON FROZEN GROUND, WOOD WASTE COMPOST/BARK FILTER BERM SHALL BE UTILIZED IN LIEU OF SILT FENCE. SEE DETAIL, THIS SHEET.)

A. EROSION CONTROL/TEMPORARY MEASURES

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE USED.

- 1. SEDIMENT BARRIER (SILT FENCE OR WOOD WASTE COMPOST/BARK FILTER (BERM) WILL BE INSTALLED AROUND THE LIMITS OF CLEARING ASSOCIATED WITH EACH PORTION OF THIS PROJECT...
2. GROUND AREA OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE PROJECT CONSTRUCTION, SHALL BE MINIMIZED AND SHALL BE STABILIZED WITHIN 15 DAYS...
3. TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BASE COURSE AS FOLLOWS:
A. TEMPORARY SEEDING SEED SHALL BE AROOSTOOK RYE APPLIED AT 3.0#/1000 SF...
B. TEMPORARY MULCHING MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER...
C. PERMANENT BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:
D. ASPHALT BASE COURSE ASPHALT BASE SHALL MEET THE SPECIFICATIONS FOR THE ASPHALT BASE COURSE FOR THE PROPOSED COMPLETED PAVEMENT.
4. PRIOR TO TOPSOIL REMOVAL, SILT FENCING SHALL BE STAKED AS SHOWN ON THE PLAN.
5. STRIPPED TOPSOIL SHALL BE STOCKPILED FOR REUSE DURING FINAL GRADING...
6. TO REDUCE OR ELIMINATE THE TRACKING OF EARTH MATERIALS ONTO PUBLIC RIGHT-OF-WAYS...
7. STABILIZE AREAS WITHIN 75 FEET OF A WETLAND OR WATERBODY WITHIN 48 HOURS OF THE INITIAL DISTURBANCE OF THE SOIL...
8. BASED ON SITE AND WEATHER CONDITIONS DURING CONSTRUCTION, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED TO STOP SOIL FROM LEAVING THE SITE.

B. EROSION CONTROL/PERMANENT MEASURES

- 1. EXCESSIVELY STEEP SLOPES (2:1 OR GREATER) SHALL BE PROTECTED BY EROSION CONTROL EXCELSIOR BLANKET WITH BIODEGRADABLE PLASTIC OR JUTE MESH AFTER SEEDING.
2. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE...
A. CONSERVATION/WILDLIFE MIX
B. COTTAGE MIX
C. PARK MIX
D. NORTHEAST WILDFLOWER MIX (SEE NOTE 4 THIS SECTION)
3. THE CONTRACTOR SHALL MAINTAIN THE SEEDED AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OF THE WORK...
4. PERMANENT WILDFLOWER STABILIZATION: PROVIDE 3" OF LOAM OVER DISTURBED OR NEWLY GRADED SLOPES...
NORTHEAST WILDFLOWER MIX:
14% PERENNIAL LUPINE
7% LANCE LEAF COREOPSIS
6% DAVEY'S ROCKET
6% PURPLE CONEFLOWER
5% BLACK EYED SUSAN
5% SIBERIAN WALLFLOWER
4% CORN POPPY
4% EVENING PRIMROSE
2% BLANKET FLOWER
2% SHASTA DAISY
1% NEW ENGLAND ASTER
1% WHITE YARROW
ANNUALS:
12% BACHELORS BUTTONS
8% BABY'S BREATH
8% RAINBOW LARKSPUR
8% SCARLET FLAX
2% CATCHFLY
1% SPURRED SNAPDRAGON

C. WINTER STABILIZATION

- 1. PROVIDE WINTER STABILIZATION IN LIEU OF PERMANENT SEEDING AFTER SEPTEMBER 1, IN LIEU OF SODDING AFTER NOVEMBER 15...
2. STRAW MULCH: PLACE STRAW MULCH AT THE APPLICATION RATE OF 150 LBS/1000 SF ON DISTURBED AREAS LESS THAN 8% SLOPE...
3. EROSION CONTROL MIX MULCH: APPLY EROSION CONTROL MIX MULCH AS AN ALTERNATIVE TO STRAW MULCH OR MATS ON STEEP SLOPES...
4. MATS: PLACE FABRICATED MULCH AND NETTING CONTROL MATS WITH ANCHORING AS SPECIFIED BY THE MANUFACTURER...
5. RIPRAP: ALL RIPRAP MINIMUM D50=2", PLACED IN 4" LIFTS AS AN ALTERNATIVE TO STRAW MATS ON STEEP SLOPES...

D. STABILIZATION PERFORMANCE CRITERIA

- 1. PERMANENT STABILIZATION IS DEFINED AS FOLLOWS:
2. SEEDED AREAS, FOR SEEDED AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF THE DISTURBED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.
3. SODDED AREAS, FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
4. NEWLY SEEDER OR SODDED AREAS MUST BE PROTECTED FROM VEHICLE TRAFFIC, EXCESSIVE PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF UNTIL THE VEGETATION IS WELL-ESTABLISHED...
5. RIPRAP, FOR AREAS STABILIZED WITH RIPRAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIPRAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE...
6. PAVED AREAS, FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED, PROVIDED IT IS FREE OF FINE MATERIALS THAT MAY RUNOFF WITH A RAIN EVENT.
7. DITCHES, CHANNELS, AND SWALES, FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH A 90% COVER OF HEALTHY VEGETATION...

GENERAL NOTES

1. AGGREGATE FOR GRAVEL BASE & SUBBASE

AGGREGATE FOR GRAVEL BASE FOR TYPE A, B & C SHALL BE CRUSHED LEDGE OR GRAVEL OF HARD DURABLE PARTICLES FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES.

Table with columns: SIEVE DESIGNATION, PERCENTAGE BY WEIGHT PASSING SQUARE MESH SIEVES (TYPE A, B, C, D). Rows include 4 INCH, 3 INCH, 2 INCH, 1 INCH, 1/2 INCH, 1/4 INCH, No. 4, No. 40, No. 200.

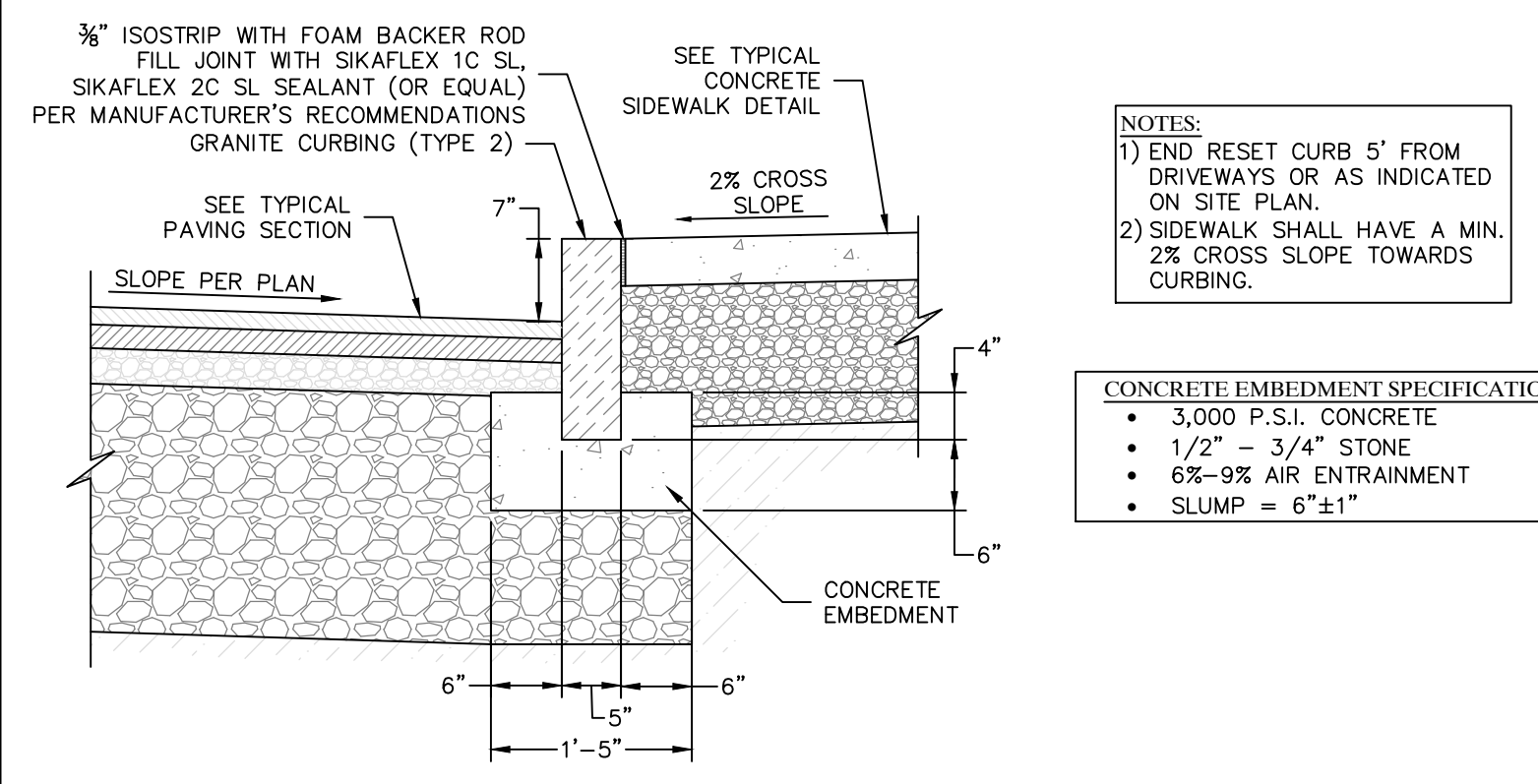
TYPE A AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 2 INCH SQUARE MESH SIEVE. TYPE B & C AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 4 INCH SQUARE MESH SIEVE. TYPE D AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 6 INCH SQUARE MESH SIEVE. EACH LAYER AS APPLIED SHALL BE ROLLED WITH A 20 TON ROLLER... THE SURFACE TOLERANCE OF EACH BASE COURSE AS APPLIED SHALL BE 3/8 INCHES ABOVE OR BELOW THE REQUIRED TEMPLATE LINES.

2. COMMON BORROW

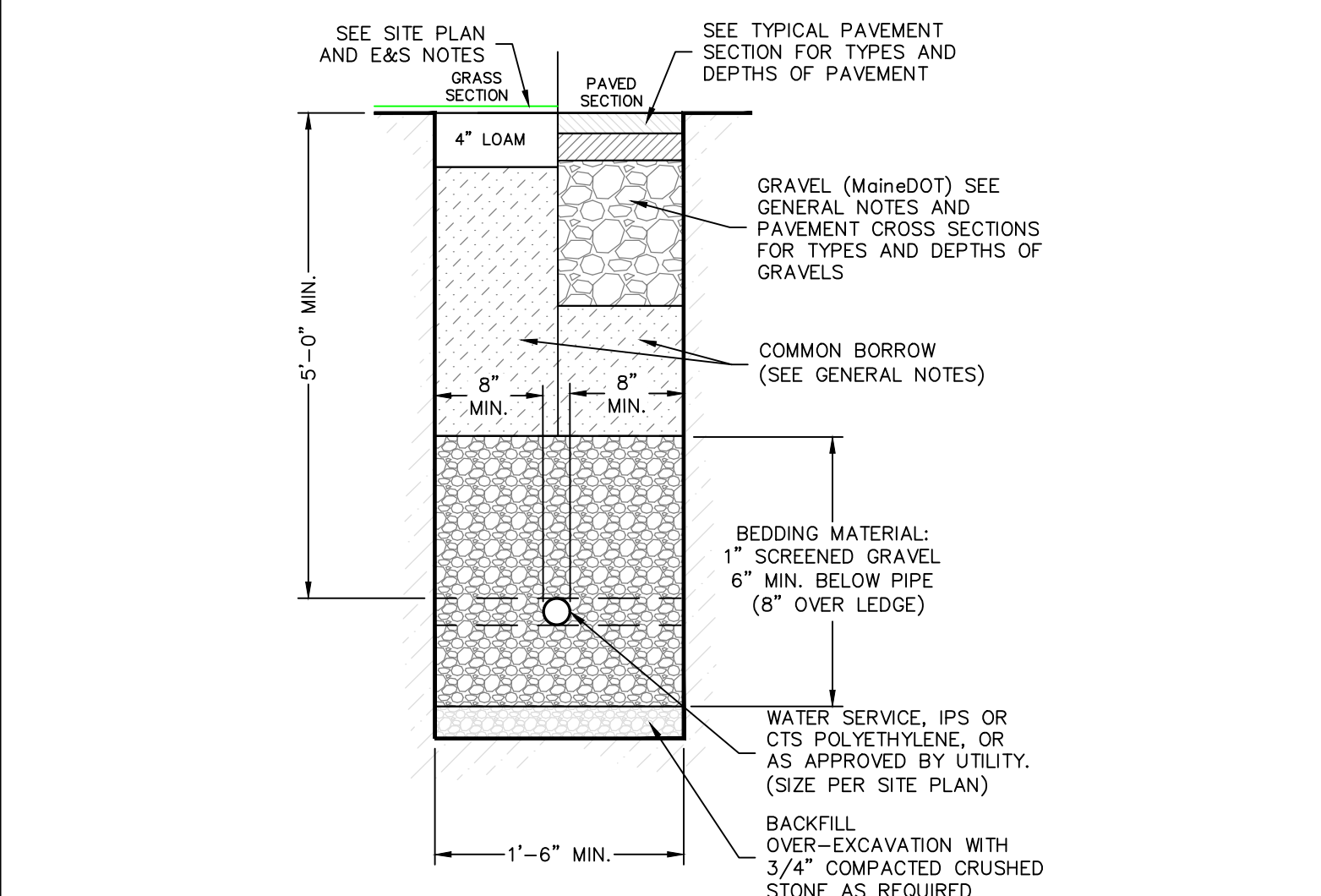
COMMON BORROW SHALL CONSIST OF EARTH, SUITABLE FOR EMBANKMENT CONSTRUCTION. IT SHALL BE FREE FROM FROZEN MATERIAL, PERISHABLE RUBBISH, PEAT AND OTHER UNSUITABLE MATERIAL. THE MOISTURE CONTENT SHALL BE SUFFICIENT TO PROVIDE THE REQUIRED COMPACTION AND STABLE EMBANKMENT.

3. STRUCTURAL BACKFILL

STRUCTURAL BACKFILL CONFORMING TO MaineDOT 703.20 SHALL BE UTILIZED IN THE ABSENCE OF GEOTECHNICAL REPORT RECOMMENDATIONS FOR FILL BELOW AND ADJACENT TO FOUNDATIONS, FOOTINGS AND SLABS. PROVIDE DEWATERING AND PERMANENT DRAINS WHERE INDICATED. COMPACT ALL STRUCTURAL BACKFILL TO 95% MODIFIED PROCTOR DENSITY.

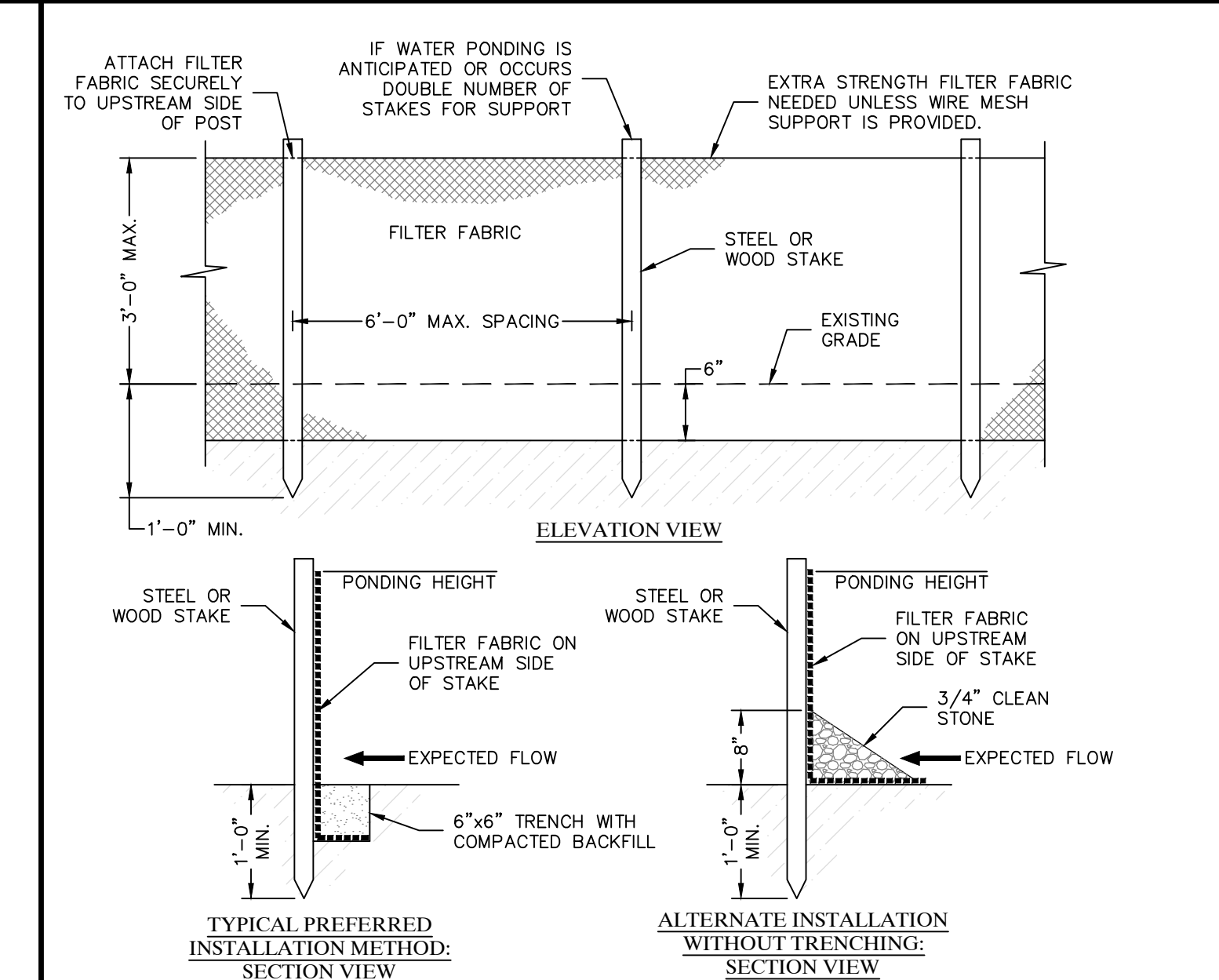


PAVED ROAD AND GRANITE CURB SIDEWALK SECTION NO SCALE.



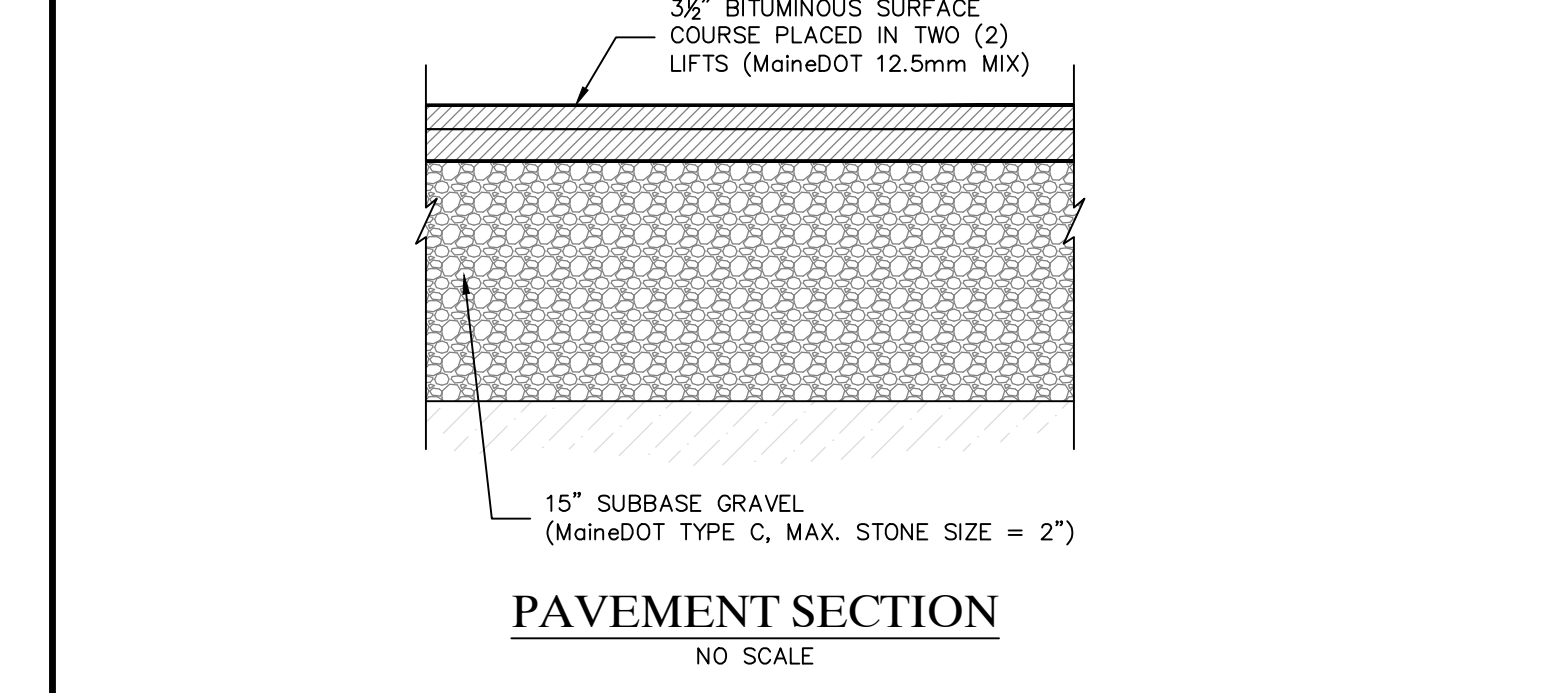
NOTES: 1. COMPACT TRENCH BACKFILL IN 8" LIFTS TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY".

WATER LINE TRENCH SECTION NO SCALE.

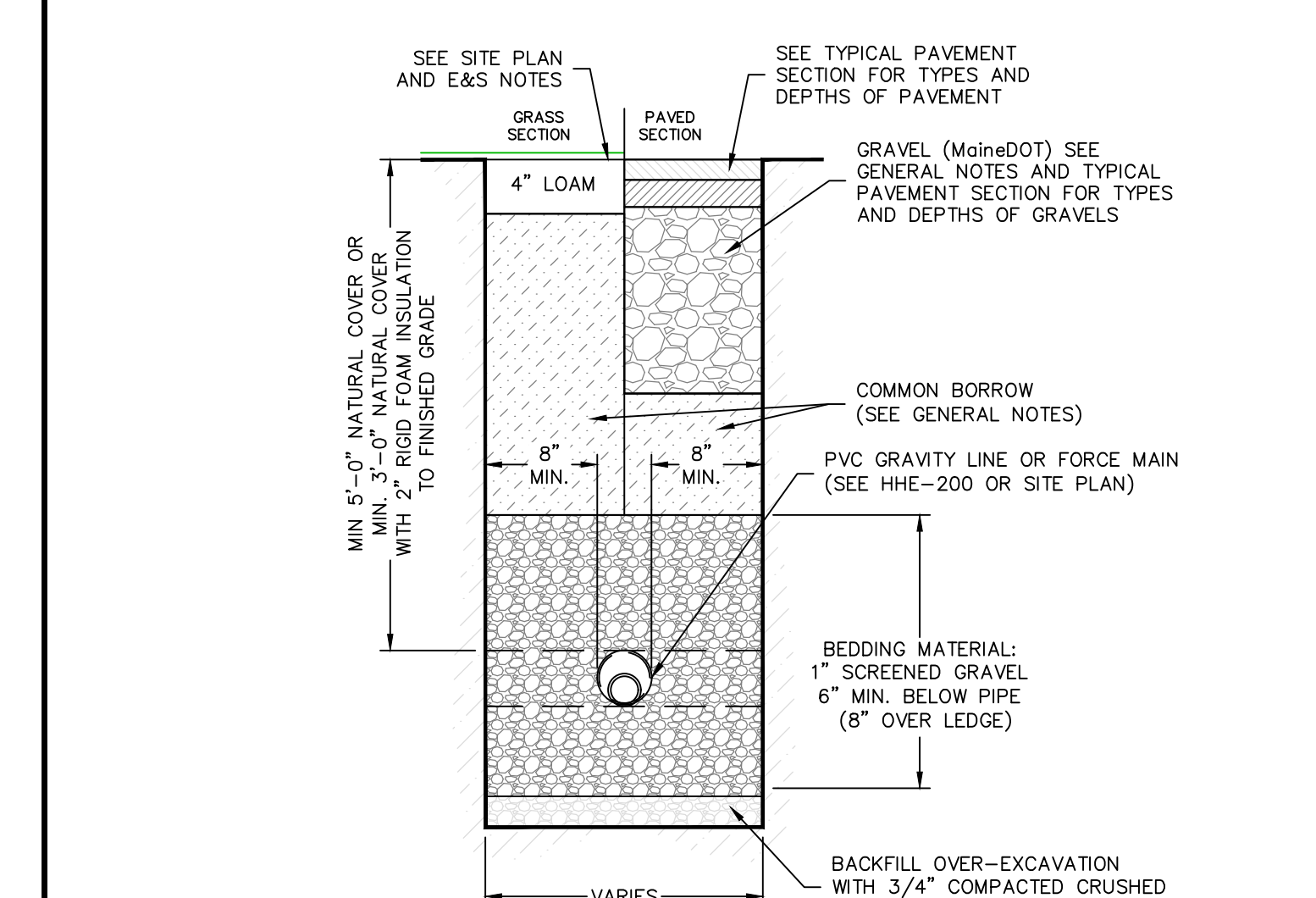


NOTES: 1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY. 2. THE FENCE SHALL BE ANCHORED TO RESIST PULL-OUT, AND BE STRETCHED TIGHTLY BETWEEN STAKES TO PREVENT SAGGING. 3. PREFABRICATED SILT FENCE IS ACCEPTABLE IF INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

SILT FENCE DETAIL NO SCALE.

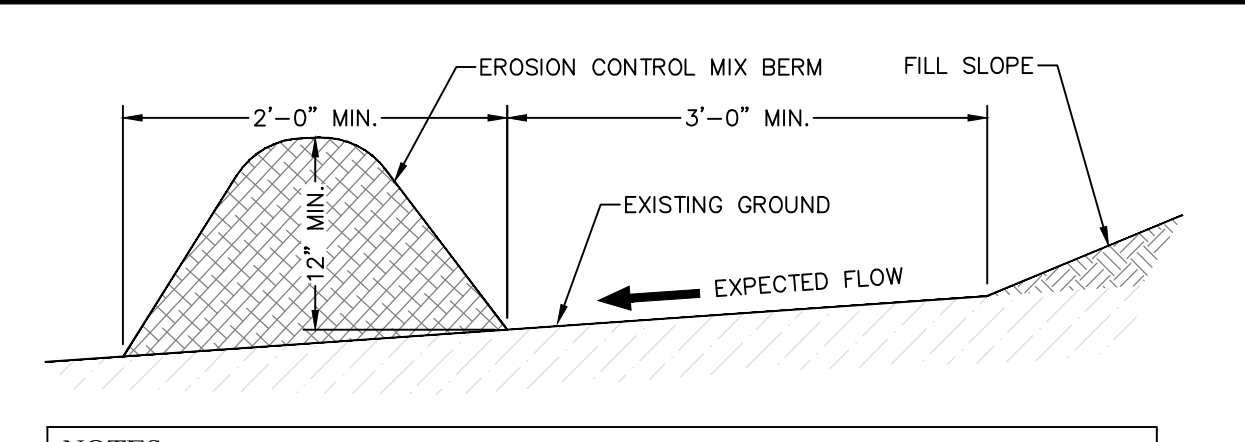


PAVEMENT SECTION NO SCALE.



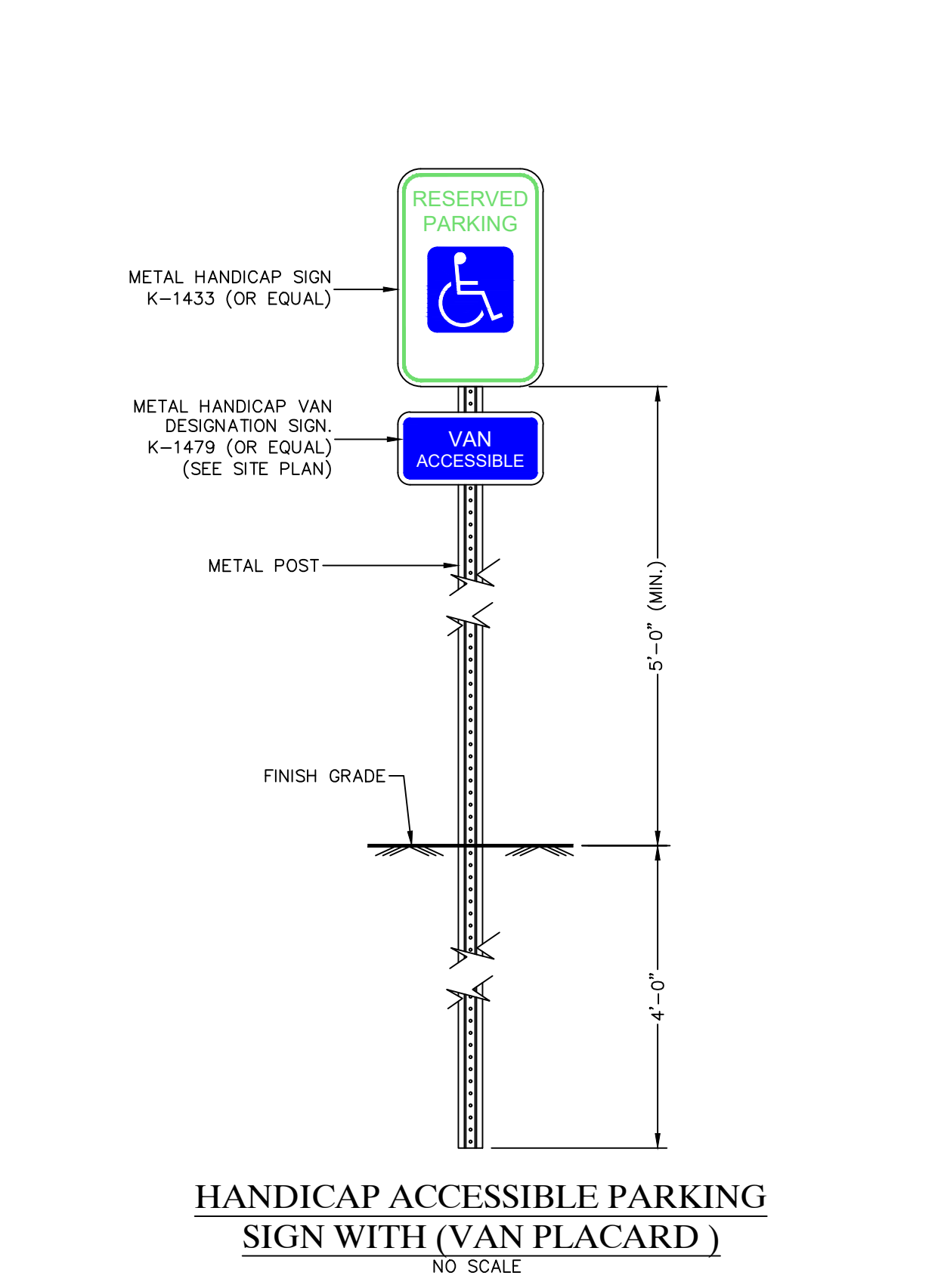
NOTES: 1. COMPACT TRENCH BACKFILL IN 8" LIFTS TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY".

SANITARY GRAVITY & FORCE MAIN TRENCH SECTION NO SCALE.

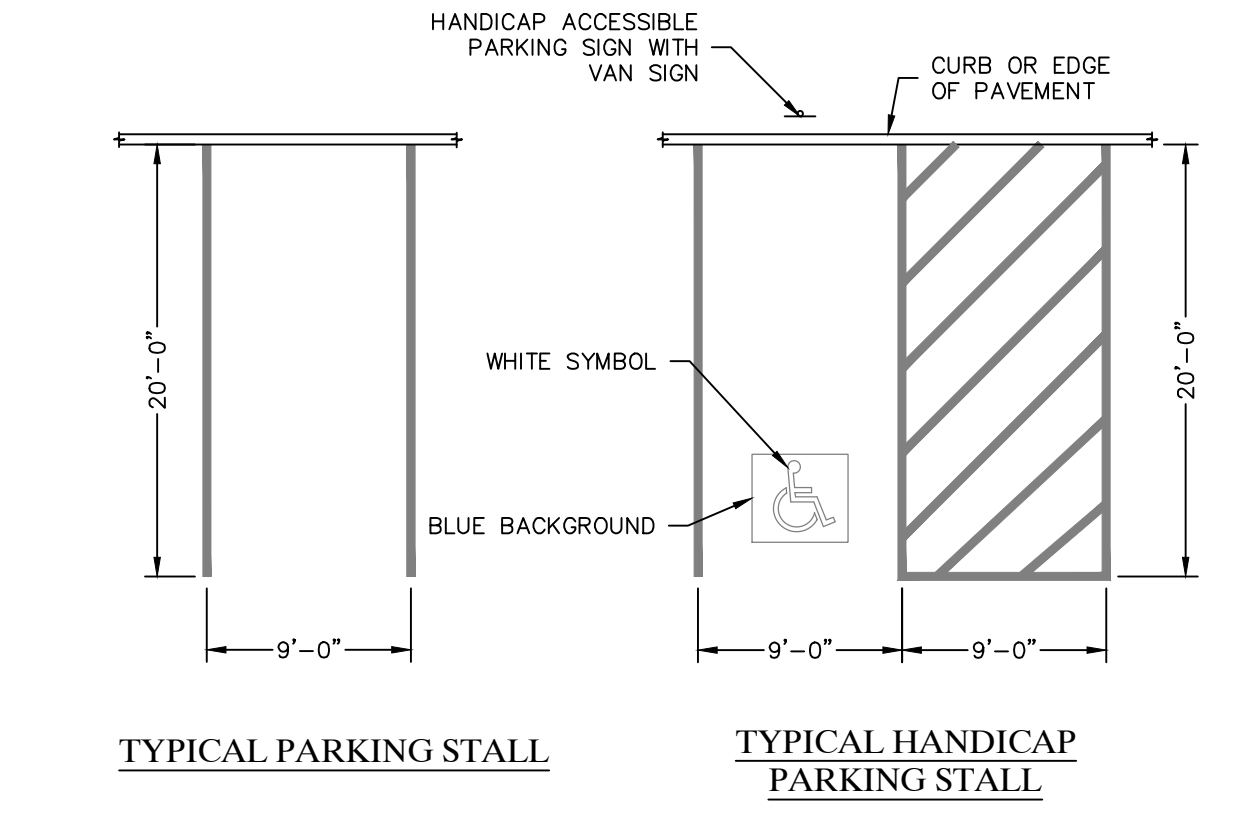


NOTES: 1. THE EROSION CONTROL MIX BERM SHALL CONSIST PRIMARILY OF ORGANIC MATERIAL INCLUDING SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS.

EROSION CONTROL MIX BERM NO SCALE.



HANDICAP ACCESSIBLE PARKING SIGN WITH (VAN PLACARD) NO SCALE.



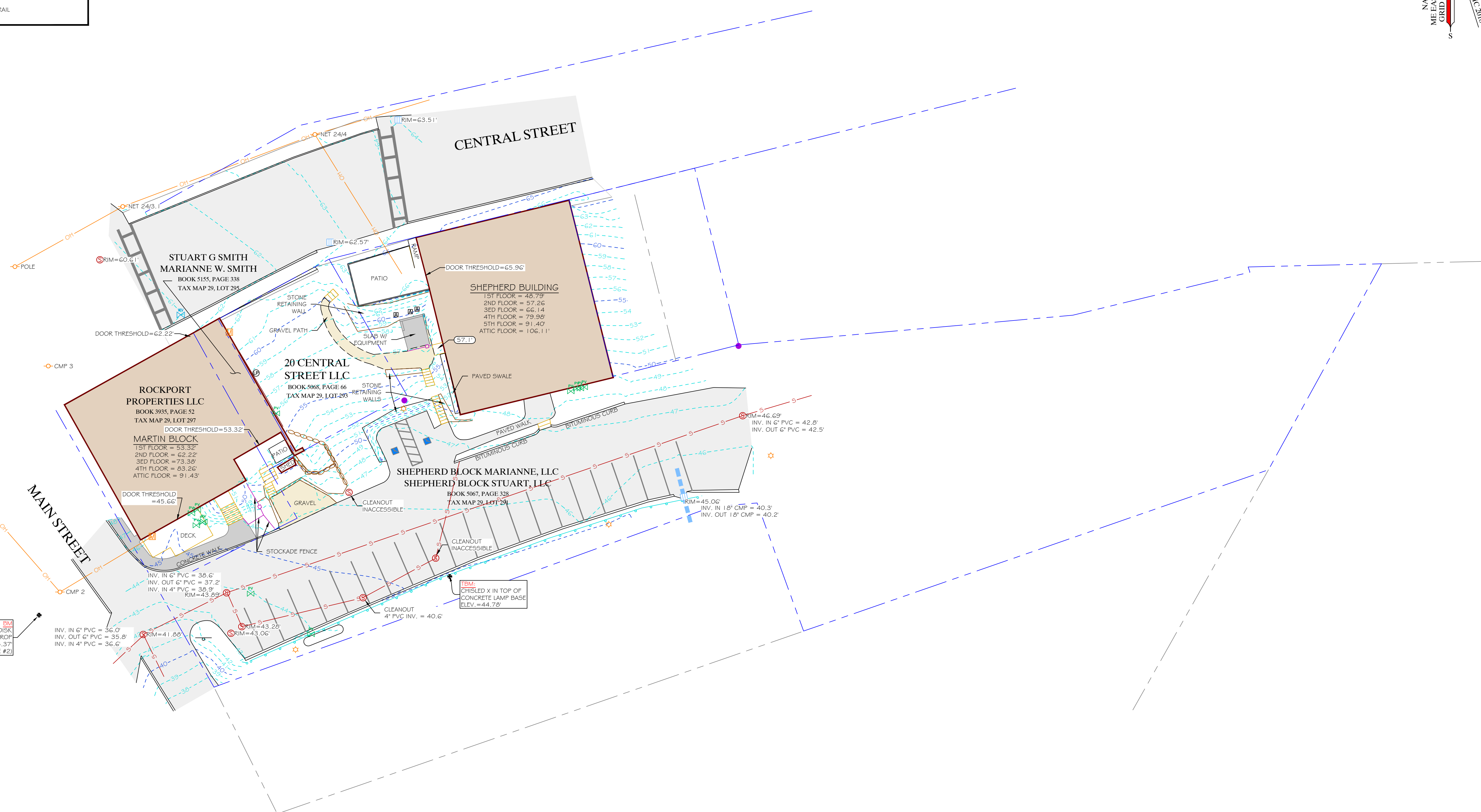
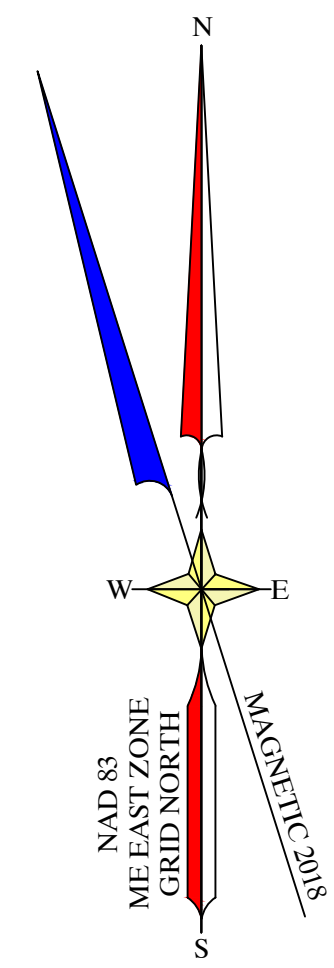
SPECIFICATIONS: PAVEMENT MARKING PAINT FOR FINAL AND TEMPORARY PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF AASHTO M248. EITHER TYPE N (REGULAR TRAFFIC PAINT) OR TYPE F (FAST DRY TRAFFIC PAINT) MAY BE USED.

PAVEMENT MARKING DETAIL & SPECIFICATION NO SCALE. FOR PERMIT PURPOSES ONLY NOT FOR CONSTRUCTION.

Professional Engineer information including: Gartley & Dorsky ENGINEERING SURVEYING, 59 Union Street, Unit 1, P.O. Box 1031, Camden, ME 04843-1031, Ph (207) 236-4365, Fax (207) 236-9055, 105 Main Street Suite 201 P.O. Box 1072 Damascus, Maine 04843, Ph (207) 790-5405. License No. 7961. State of Maine Professional Engineer. Project No. 2018-128. Scale: AS NOTED. Date: NOVEMBER 12, 2019. Checked By: HEG. Drawn By: LP.

LEGEND

- APPROXIMATE PROPERTY LINE
- IRON ROD FOUND
- IRON PIPE FOUND
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING UTILITY POLE
- EXISTING GUY ANCHOR
- EXISTING OVERHEAD UTILITY LINE
- EXISTING ELECTRIC METER
- EXISTING SANITARY MANHOLE
- EXISTING PROpane VALVE
- EXISTING PROpane TANK
- EXISTING AIR CONDITIONING UNIT
- WOOD GUARDRAIL



MCS & USCHSS BRASS DISK
STAMPED 201 IN LEDGE OUTCROP
ELEV. = 45.37
(SEE NOTE #2)

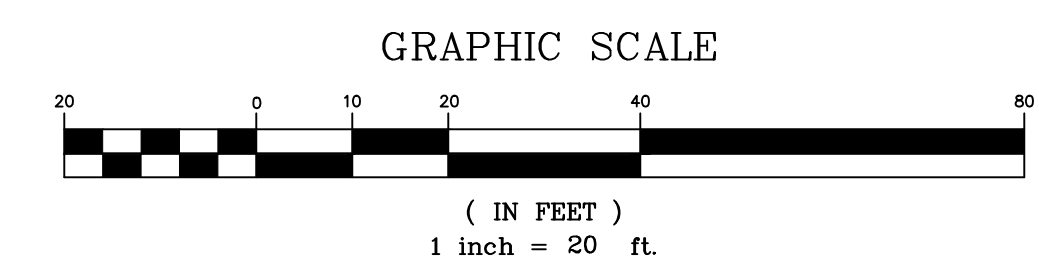
TEMP
ORIGINED X IN TOP OF
CONCRETE LAMP BASE
ELEV. = 44.78'

SURVEYOR'S NOTES:

- 1) THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES ARE TAKEN FROM PLAN REFERENCE #1
- 2) ELEVATIONS ARE REFERENCED TO NAVD 1988 BASED ON STATIC GPS OBSERVATIONS PERFORMED ON JUNE 5, 2015 AND PROCESSED THROUGH THE NATIONAL GEODETIC SURVEY'S ONLINE POSITIONING USER SERVICE (OPUS).
- 3) THIS PLAN IS THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED IN OCTOBER 2019.













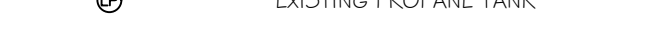
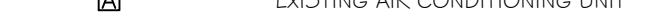
PLAN REFERENCES:

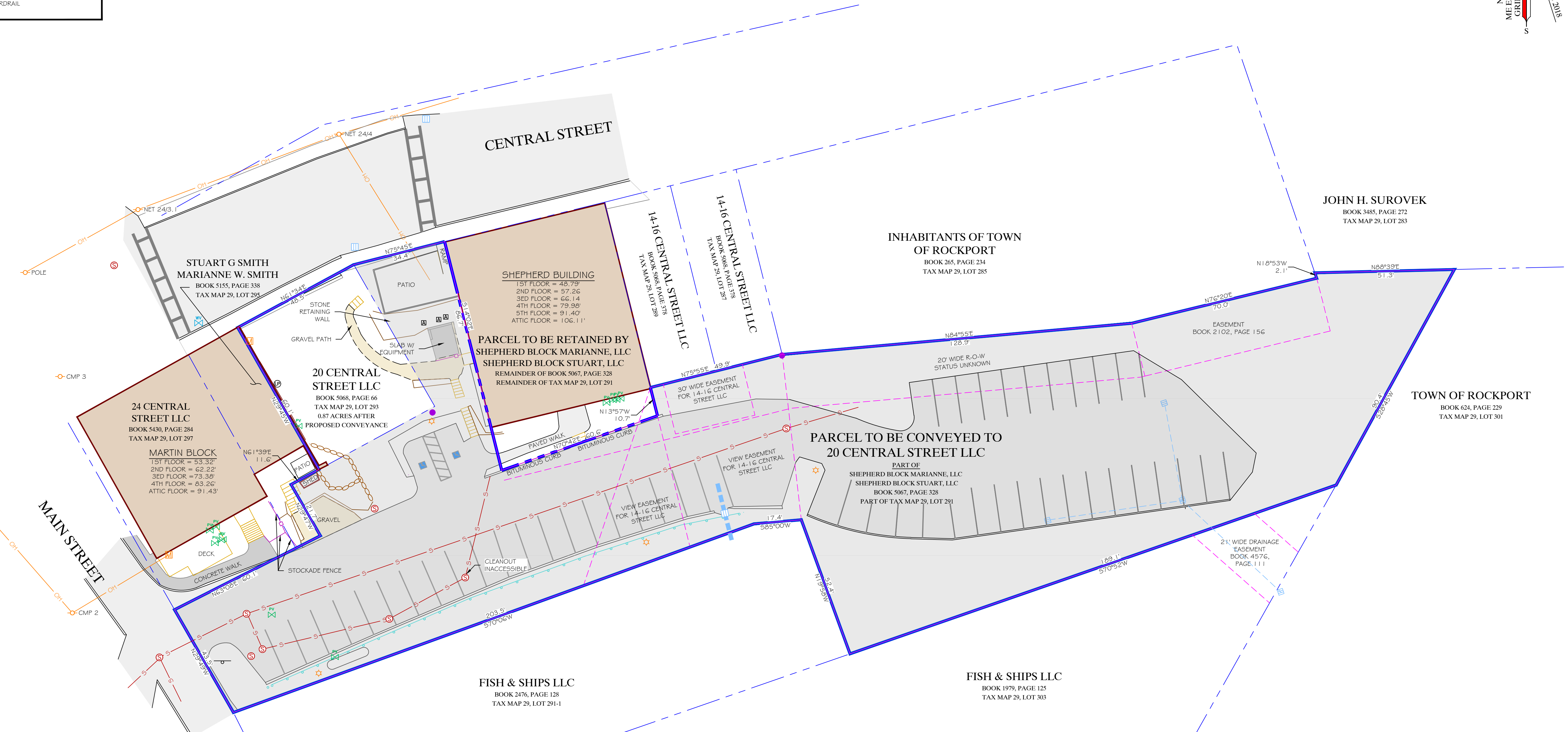
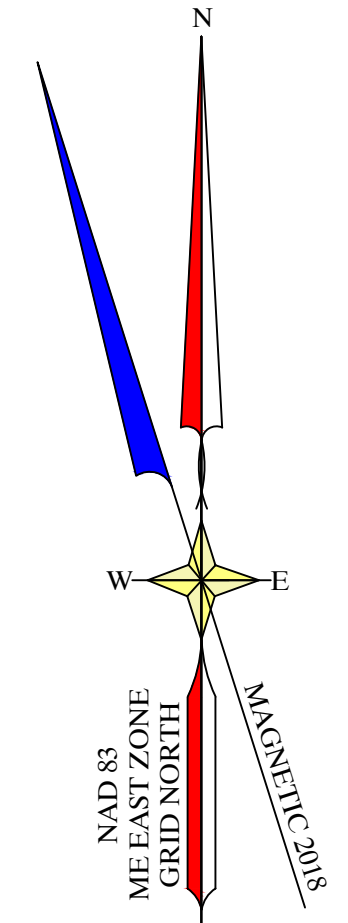
- 1) "SITE PLAN, UNION HALL SHEPHERD BLOCK" BY LANDMARK CORPORATION DATED AUGUST 23, 2012.



<p>CLIENT/PROJECT: ROCKPORT HARBOR HOTEL 20 CENTRAL STREET, LLC</p> <p>LOCATION: 20 CENTRAL STREET TOWN: ROCKPORT COUNTY: KNOX STATE: MAINE</p>	<p>SHEET TITLE: EXISTING CONDITIONS TOPOGRAPHIC SURVEY</p> <p>SCALE: 1" = 20'</p> <p>DATE: OCTOBER 22, 2019</p> <p>DRAWN BY: AW CHECKED BY: JAD</p>									
<p>Gartley & Dorsky ENGINEERING SURVEYING</p> <p>59 Union Street, Unit 1, P.O. Box 1031 Camden, ME 04843-1031 Ph: (207) 236-4365 Fax: (207) 236-3065 Toll Free: 1-888-282-4365 165 Main Street Suite 207 P.O. Box 1072 Danville, Maine 04543 Ph: (207) 790-5005</p>										
<p>THIS PLAN PRELIMINARY WITHOUT SIGNATURE</p> <p>PROJ. NO. 2018-128</p> <p style="font-size: 2em; font-weight: bold;">V2</p>										
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>UPDATED TITLE BLOCK</td> <td>11/11/19</td> </tr> <tr> <td>1</td> <td>ADDED SEWER MANHOLES AND STORM DRAIN INFO</td> <td>11/05/19</td> </tr> </tbody> </table>		NO.	REVISIONS	DATE	2	UPDATED TITLE BLOCK	11/11/19	1	ADDED SEWER MANHOLES AND STORM DRAIN INFO	11/05/19
NO.	REVISIONS	DATE								
2	UPDATED TITLE BLOCK	11/11/19								
1	ADDED SEWER MANHOLES AND STORM DRAIN INFO	11/05/19								

LEGEND

-  APPROXIMATE EXISTING PROPERTY LINE AROUND SUBJECT PARCEL
-  PROPOSED PROPERTY LINE
-  APPROXIMATE EXISTING PROPERTY LINE
-  IRON ROD FOUND
-  IRON PIPE FOUND
-  EXISTING UTILITY POLE
-  EXISTING GUY ANCHOR
-  EXISTING OVERHEAD UTILITY LINE
-  EXISTING ELECTRIC METER
-  EXISTING SANITARY MANHOLE
-  EXISTING PROPANE VALVE
-  EXISTING PROPANE TANK
-  EXISTING AIR CONDITIONING UNIT
-  WOOD GUARDRAIL

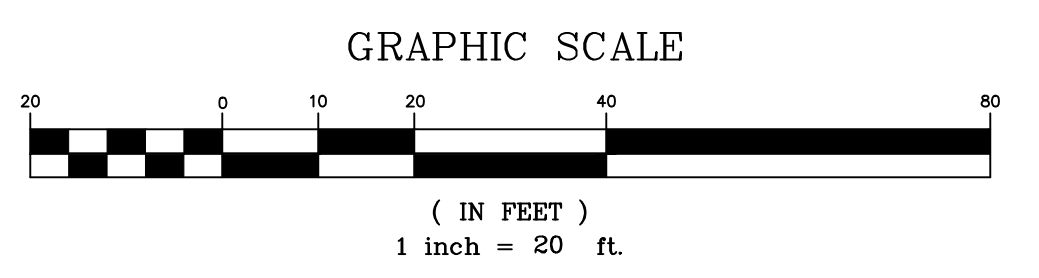


SURVEYOR'S NOTES:

1) THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES ARE TAKEN FROM PLAN REFERENCE #1

PLAN REFERENCES:

- 1) "ROCKPORT PROPERTIES, EASEMENT PLAN, PRELIMINARY DRAFT" BY LANDMARK CORPORATION DATED JANUARY 29, 2016.
- 2) "GRAFFAM-PENOBSCOT BAY ICE CO., INC. BOUNDARY SURVEY" BY LANDMARK CORPORATION DATED FEBRUARY 22, 2008 AND RECORDED IN THE KNOX COUNTY REGISTRY OF DEEDS CABINET 19, SHEET 150.
- 3) "SITE PLAN, UNION HALL SHEPHERD BLOCK" BY LANDMARK CORPORATION DATED AUGUST 23, 2012.

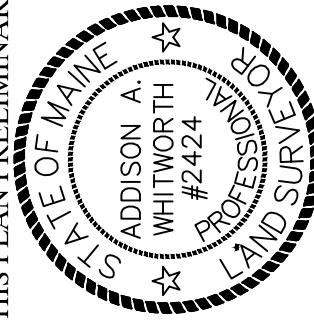


PROPOSED CONVEYANCE PLAN		DRAWN BY: AW	CHECKED BY: JAD	DATE: NOVEMBER 12, 2019
ROCKPORT HARBOR HOTEL 20 CENTRAL STREET, LLC		COUNTY: KNOX	STATE: MAINE	TOWN: ROCKPORT
CLIENT PROJECT: ROCKPORT HARBOR HOTEL 20 CENTRAL STREET, LLC		LOCATION: 20 CENTRAL STREET		
SHEET TITLE: CONVEYANCE PLAN		SCALE: 1" = 20'		
NO.		REVISIONS		
DATE		DATE		

Gartley & Dorsky
ENGINEERING SURVEYING

59 Union Street, Unit 1, P.O. Box 1031 Camden, ME 04843-1031
Ph: (207) 236-4365 Fax: (207) 236-3055 Toll Free: 1-888-282-4365
165 Main Street Suite 207 P.O. Box 1072 Dunbar, Maine 04543
Ph: (207) 790-5065

THIS PLAN PRELIMINARY



WITHOUT SIGNATURE

PROJ. NO. 2018-128

V3