

May 24, 2018

Mr. Michael D. Johnson, Historic Preservationist
Maine Historic Preservation Commission
55 Capital Street
65 State House Station
August, ME 04333-0065

**Re: American Boathouse Rehabilitation – Historic Register Review Follow-up
17 Atlantic Avenue, Camden, Maine**

Dear Mike,

Attached please find supplemental plans, sections, and details which have been put together to address the issues noted earlier this month so that you can complete MHPC's review of the plan to rehabilitate the American Boathouse at 17 Atlantic Avenue in Camden. A brief description of the resubmitted and supplemental information is below:

A. Historic Floor Plans

1. Based on oral history, three photographs, and current exploration inside the Boathouse, we have assembled five drawings which show the lower level and first floor plans of the Boathouse. Exhibits A and B depict the floor plan circa 1904 and 1905 with Exhibit A being the Boatshed lower level boat basin and Headhouse basement, and Exhibit B showing the first-floor level at the same time period. We have included three photographs on Exhibit B which we believe date to the 1920's. The first-floor level plan has a key for the location where each image was taken.
2. We are also providing documentation for both levels of the Boathouse c. 1982 when the west side shed was added and there was significant interior reconstruction. Exhibit C shows the lower level including the west side shed addition and the cast in place sloping concrete slab which covered approximately half of the original marine railway in the boatshed. Exhibit D is the first-floor plan which was primarily constructed in 1982 and the photographs on the plan date to the 1990's. We have provided a key for the image locations on this plan.
3. Based on the historic photos and documentation we believe that none of the interior historic walls remain within the building shell. The 1982-1984 interior work appears to have gutted any interior wall framing that existed, and this thinking is supported by the people involved with the project at that time as well as by Chris Glass who worked on the project in 1982-1983.

B. Proposed Floor Plans

1. We are including in this resubmission the previously submitted drawings A1.01 and A1.02 which show the lower level and first floor plans for reference. They have not been changed from the previous submission.

C. Exterior Wall Treatment

1. Drawing Ex1.06, which is also labeled Exhibit C, is a color-coded plan that graphically illustrates the narrative previously submitted to you, except for the wall on the Headhouse adjacent to Atlantic Avenue. As you can see on this plan, the walls in the boat basin (color coded on this drawing in green) will be reconstructed using materials salvaged from the existing shed walls. There will be no insulation or interior siding added so that the appearance of the boat basin will be similar to what currently exists, with the exception of the four moment frames shown on this plan.
2. The plan for the Headhouse had always been to retain the north, east and west walls with only a new wall added where the 1982 shed addition removed the original 1904 south wall. Upon investigation of all of the walls at the Headhouse, the fill placed against the north/Atlantic Avenue wall has resulted in deterioration of the bottom 30-50% of the wall siding, sheathing and framing. We have come to the conclusion that the north wall needs to be entirely replaced on the Headhouse.
3. As previously noted, and shown on these plans, all of the existing building dimensions will be precisely replicated with the new construction. There is no proposed expansion of the building footprint width or length, wall height, ridgeline position and slope, or with the boat basin doors.

D. Elevation Drawings

1. The elevation drawings have been revised to show that the historic 8 over 2 lite windows and all other openings in the Headhouse will remain as currently existing. The only proposed change in the Headhouse façade is on the southern side where a former window is now proposed as an access door. This was noted in the previous submission.
2. On the boatshed portion of the Boathouse, the historic window types and locations are being replaced as documented with 6 over 6 lite windows using restored windows removed from the building.
3. Only the east side elevation is showing proposed changes for proposed access doors with no changes to the 6 by 6 windows, other than the minor horizontal adjustments previously noted so that a new moment frame does not pass between the window and the boatshed interior. As can be seen in the revised east elevations, the changes are limited to the previously shown lower and upper level egress doors and side lites.
4. The double hung windows are all to be removed, refurbished and then reinstalled. Based upon our investigation to date, the only new elements in the façade for openings are the east side doors and the doors with side lites on the upper level, all of which are for egress and Code compliance.

E. Wall Sections

1. Wall sections have been provided on sheets A4.01 and A4.02. As can be seen, the insulation in the Great Room and at the Headhouse will be interior to the current wall locations with new interior finishes applied. In the boat basin, no insulation is proposed as this is being treated as a garage under the Energy Code.
2. Drawing A4.02 includes sections at the typical window and wall condition and show that the windows and doors will be set in the same plane as the exterior sheathing and therefore replicate the existing conditions.

F. Roof Framing

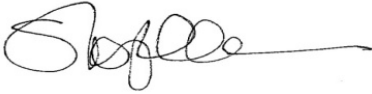
1. Albert Putnam has produced a roof framing plan for the existing structure. As can be seen in the photos on that plan, the existing roof framing is in poor condition. The new roof framing will recreate the sloping ridge elevation and the roof side slopes to the east and west. The roof framing has been designed to replicate the existing sloping, horizontal line seen at the ridge, and eaves of the existing Boat Shed.
2. No changes are proposed for the roof framing at the Headhouse, as the existing framing will be reinforced with additional lumber applied to the interior of the structure.
3. An isometric drawing of the typical moment frame treatment is included for your review. The moment frames, when finished, will be approximately 12" by 16".

G. Interior Finishes

1. GPSA has assembled an interior finish schedule for all of the interior spaces in the structure. As noted therein, the steel moment frames are to be wrapped in reclaimed wood. The materials, finishes, and material sizes are noted in the schedule.

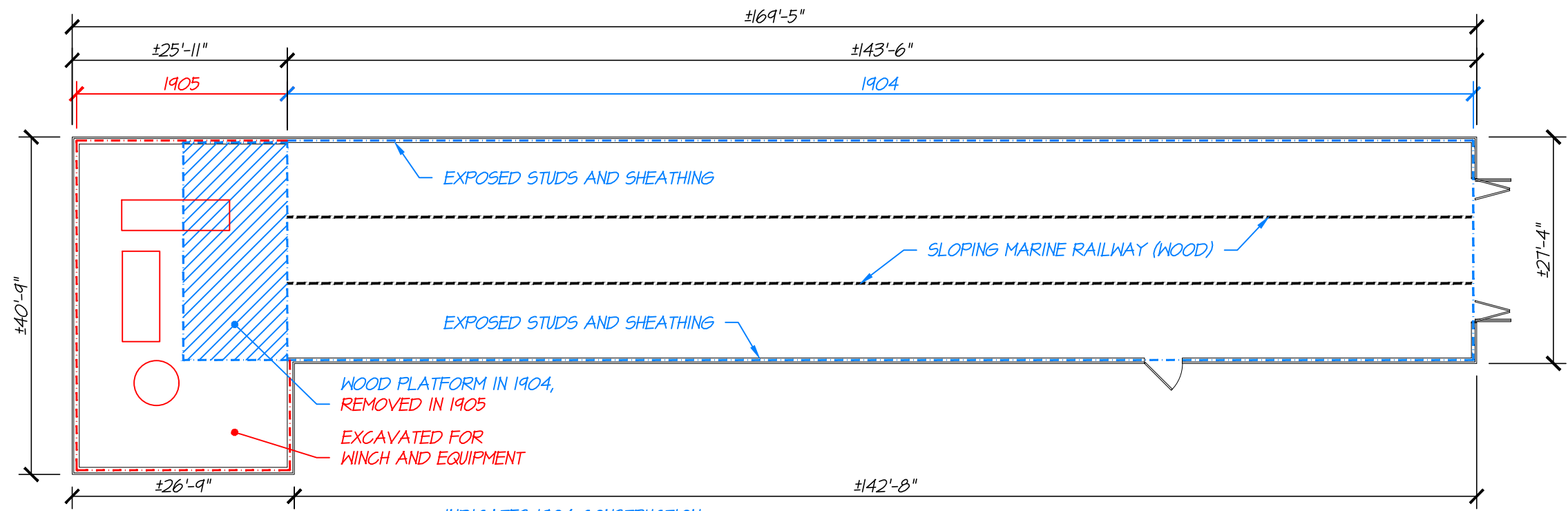
We trust you can review this supplemental material in a timely manner and advise us as soon as possible of any additional documentation which you may require to complete your review.

Kind Regards,



Stephen B. Mohr, ASLA
Maine Licensed Landscape Architect
Mohr & Seredin Landscape Architects, Inc.

cc: Bill O'Donnell, Camden Code Enforcement Officer
Cynthia and John Reed, CRRT
G.P. Schafer Architect



- - - - - INDICATES 1904 CONSTRUCTION
 - - - - - INDICATES 1905 CONSTRUCTION

LOWER LEVEL BOAT BASIN AND
 HEADHOUSE BASEMENT - CIRCA 1904/1905
 1/16" = 1'-0"

1
Ex1.02

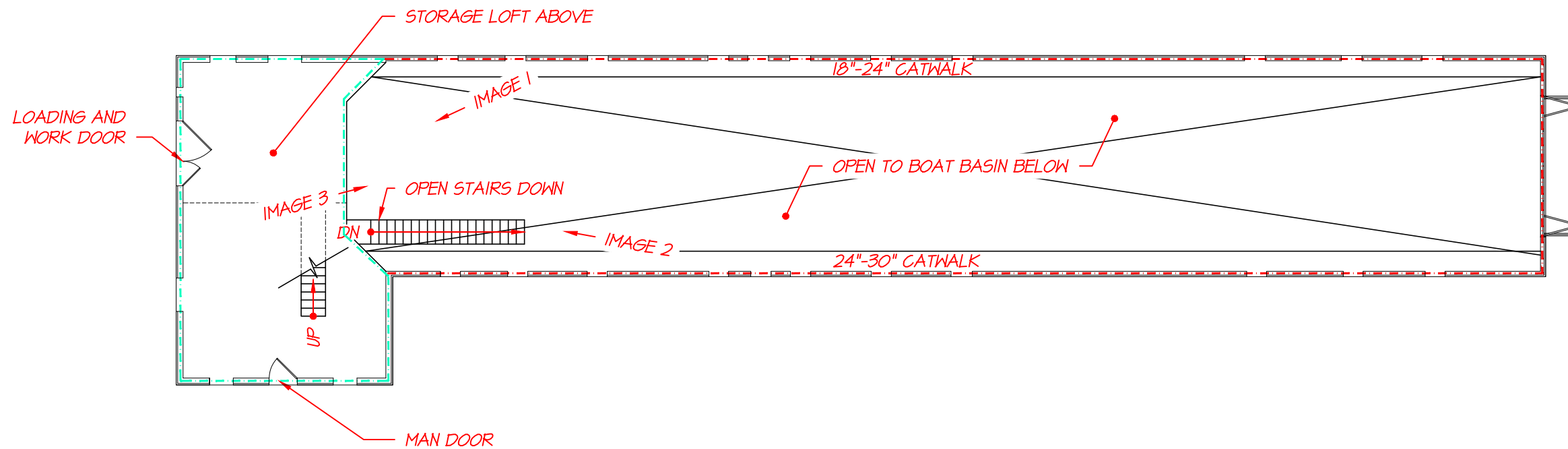
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**AMERICAN
 BOATHOUSE**
 15 Atlantic Ave., Camden, Maine

ISSUED for
 0 SUPPLEMENTAL 2018.05.20
 INFORMATION

HISTORIC FLOOR
 PLANS - EXHIBIT A

Ex1.02



--- INDICATES 1904 CONSTRUCTION
--- INDICATES 1905 CONSTRUCTION

FIRST FLOOR LEVEL - CIRCA 1905

1/16" = 1'-0"

1
Ex1.03



INTERIOR IMAGE 1



INTERIOR IMAGE 2



INTERIOR IMAGE 3

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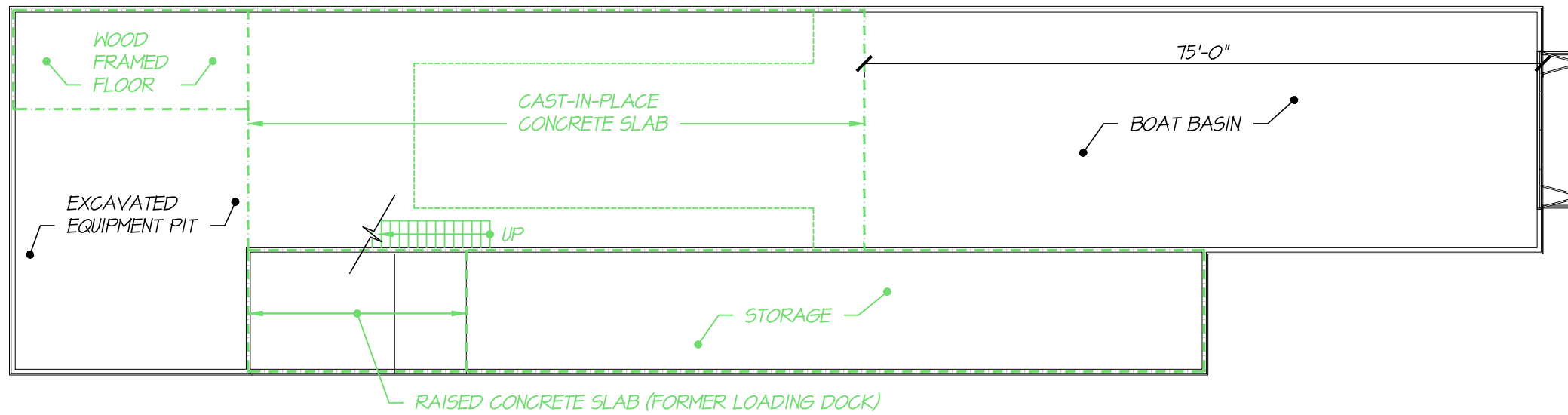
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**AMERICAN
BOATHOUSE**
 15 Atlantic Ave., Camden, Maine

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HISTORIC FLOOR
PLANS - EXHIBIT B

Ex1.03



--- INDICATES 1982 CONSTRUCTION
 LOWER LEVEL BOAT BASIN AND
 HEADHOUSE BASEMENT - CIRCA 1982
 1/16" = 1'-0"

1
 Ex1.04

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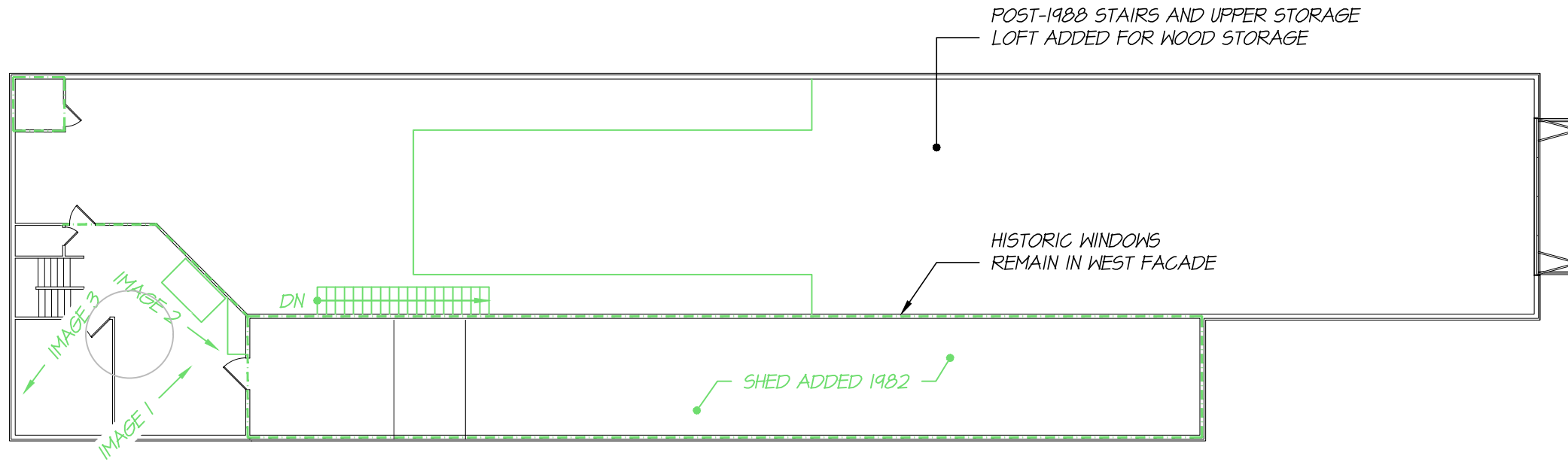
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**AMERICAN
 BOATHOUSE**
 15 Atlantic Ave., Camden, Maine

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HISTORIC FLOOR
 PLANS - EXHIBIT C

Ex1.04



--- INDICATES 1982 CONSTRUCTION
FIRST FLOOR LEVEL - CIRCA 1982
 1/16" = 1'-0"

1
 Ex1.05

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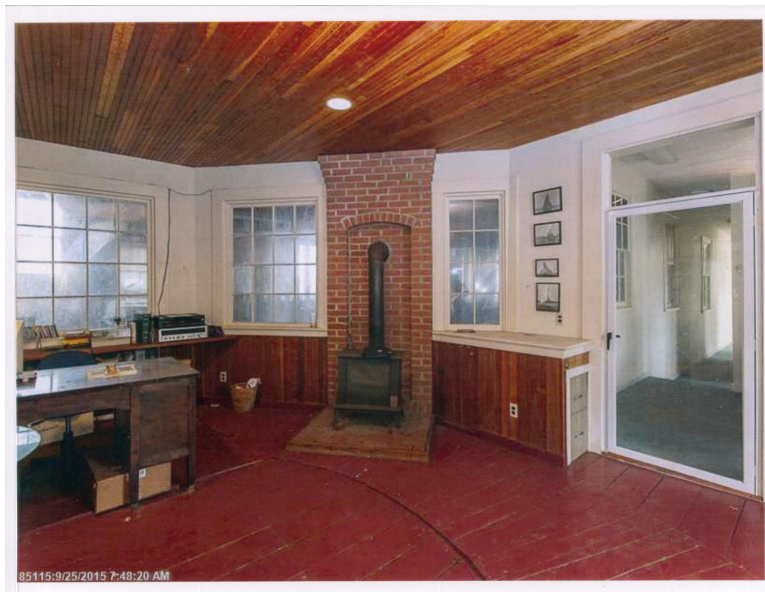
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**AMERICAN
 BOATHOUSE**
 15 Atlantic Ave., Camden, Maine

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HISTORIC FLOOR
 PLANS - EXHIBIT D

Ex1.05



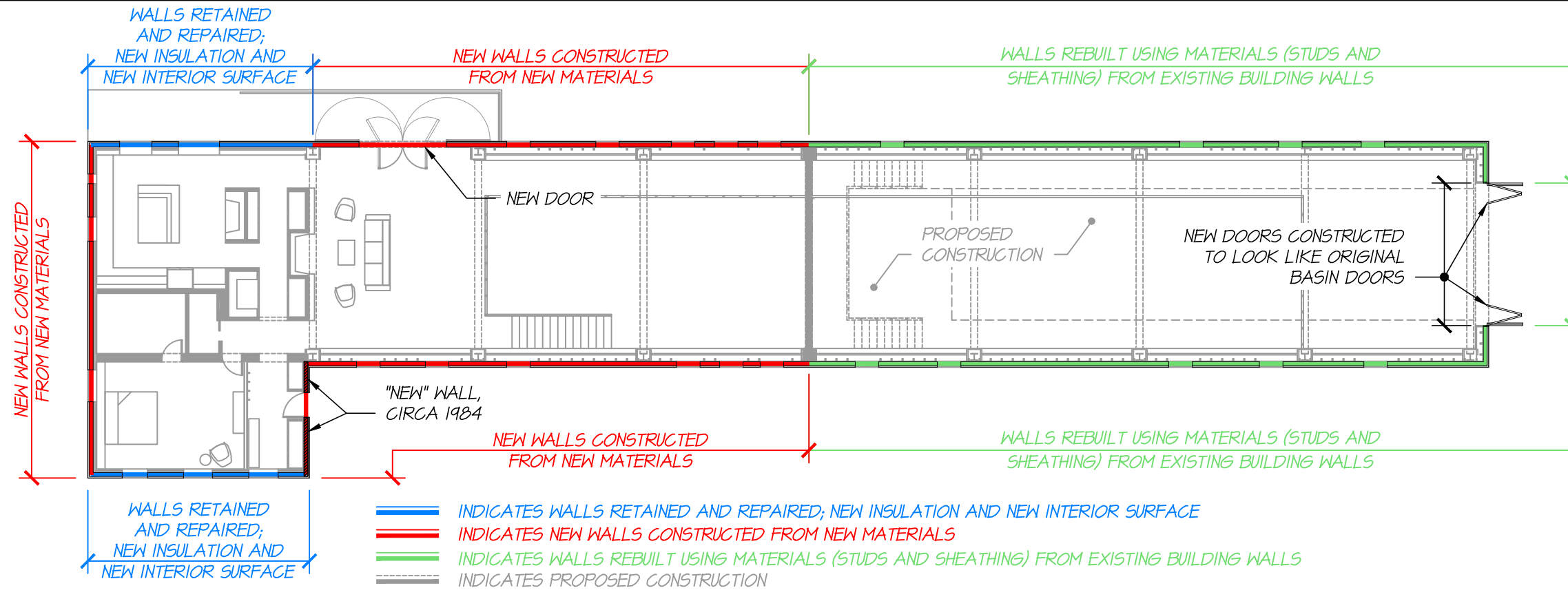
INTERIOR IMAGE 1



INTERIOR IMAGE 2



INTERIOR IMAGE 3



EXTERIOR WALL TREATMENT PLAN

1/16" = 1'-0"

1
Ex1.06

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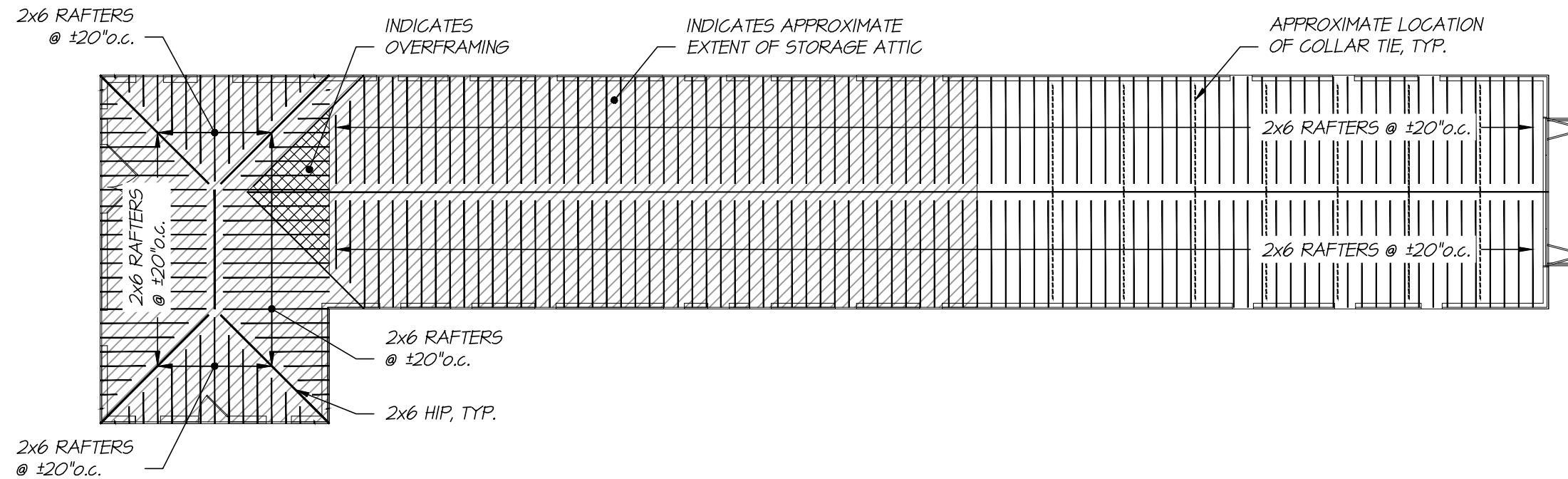
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BOATHOUSE**
15 Atlantic Ave., Camden, Maine

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WALL TREATMENT
PLAN - EXHIBIT E

Ex1.06



NOTE:
COLLAR TIES NOT SHOWN AT HEADHOUSE.

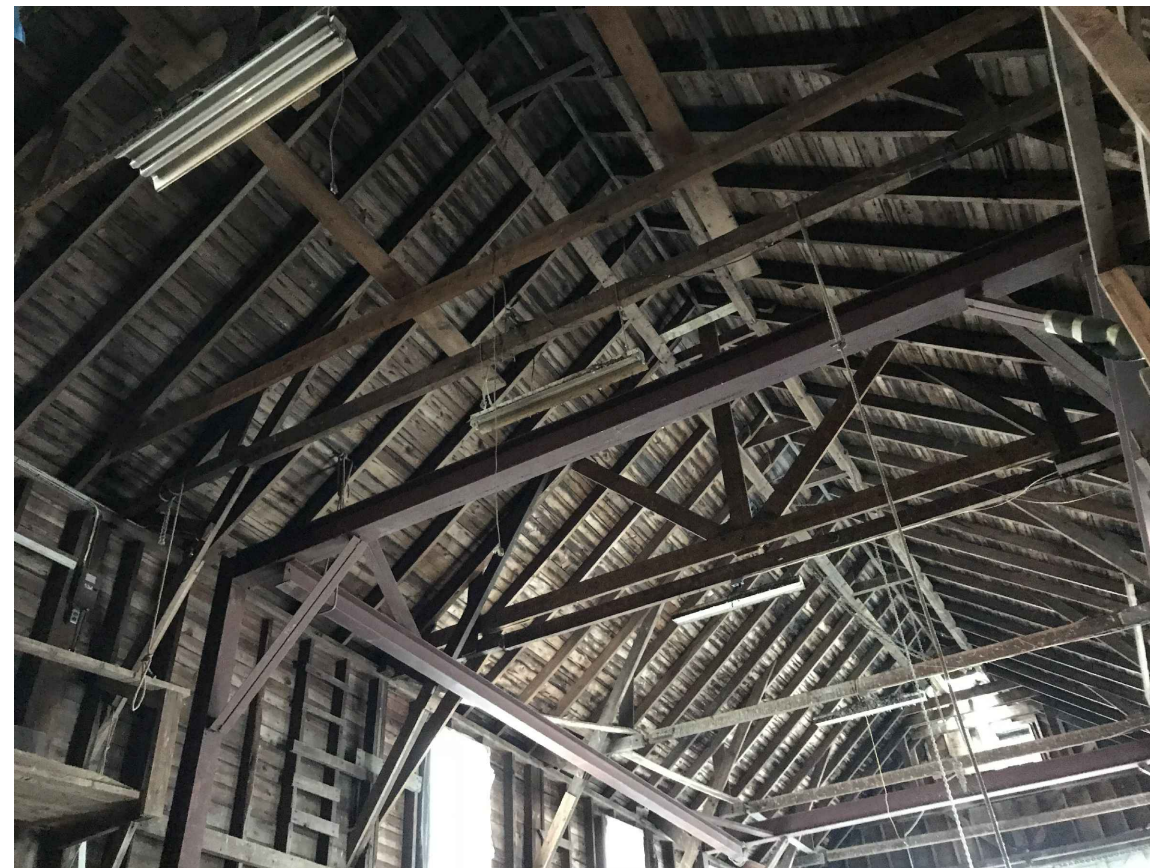
EXISTING ROOF FRAMING PLAN

1/16" = 1'-0"

1
Ex1.07



EXISTING ROOF FRAMING AT STORAGE ATTIC



EXISTING ROOF FRAMING AT OPEN COLLAR TIES

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**AMERICAN
BOATHOUSE**
15 Atlantic Ave., Camden, Maine

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INFORMATION 2018.05.25

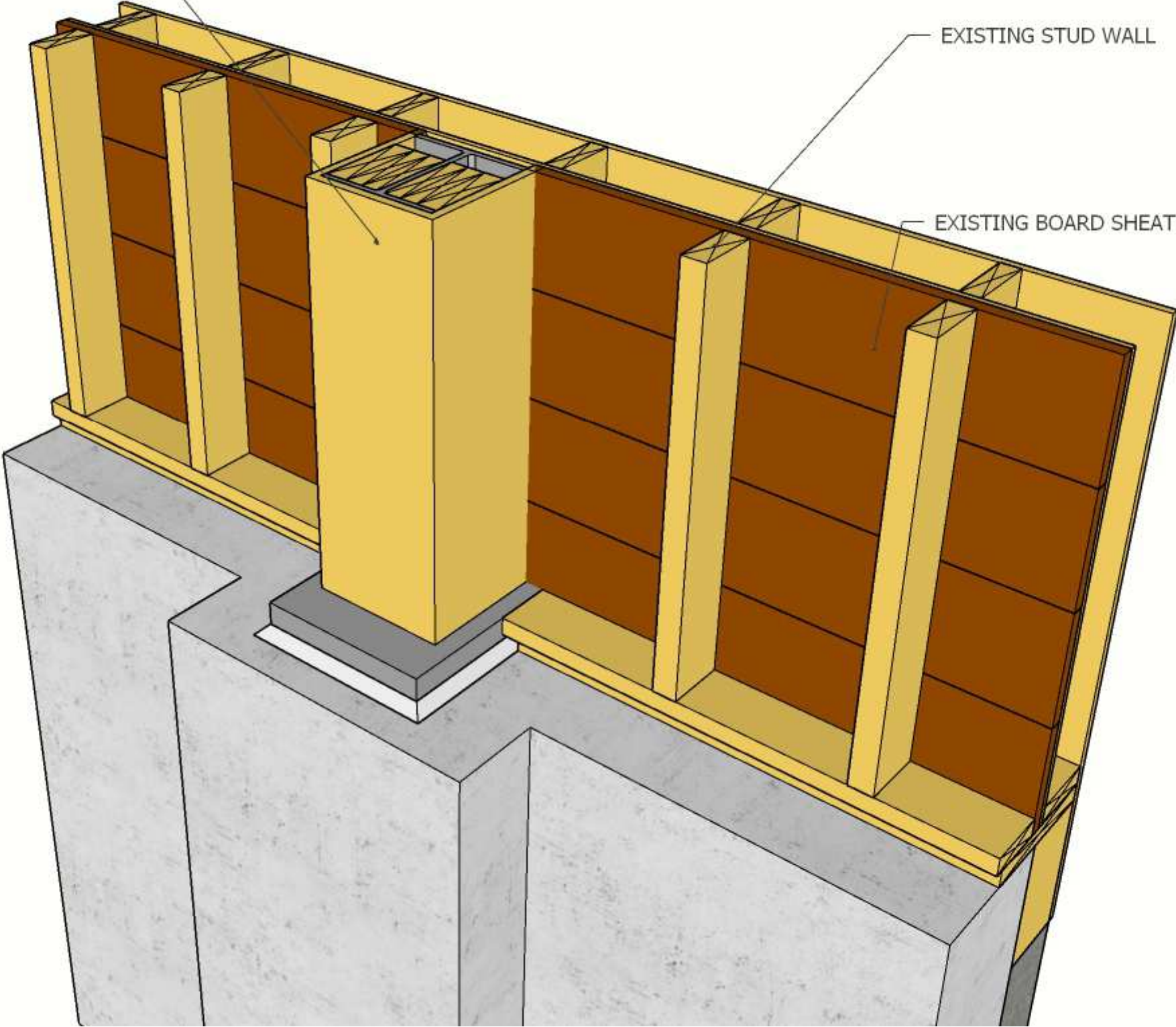
EXISTING ROOF
FRAMING PLAN

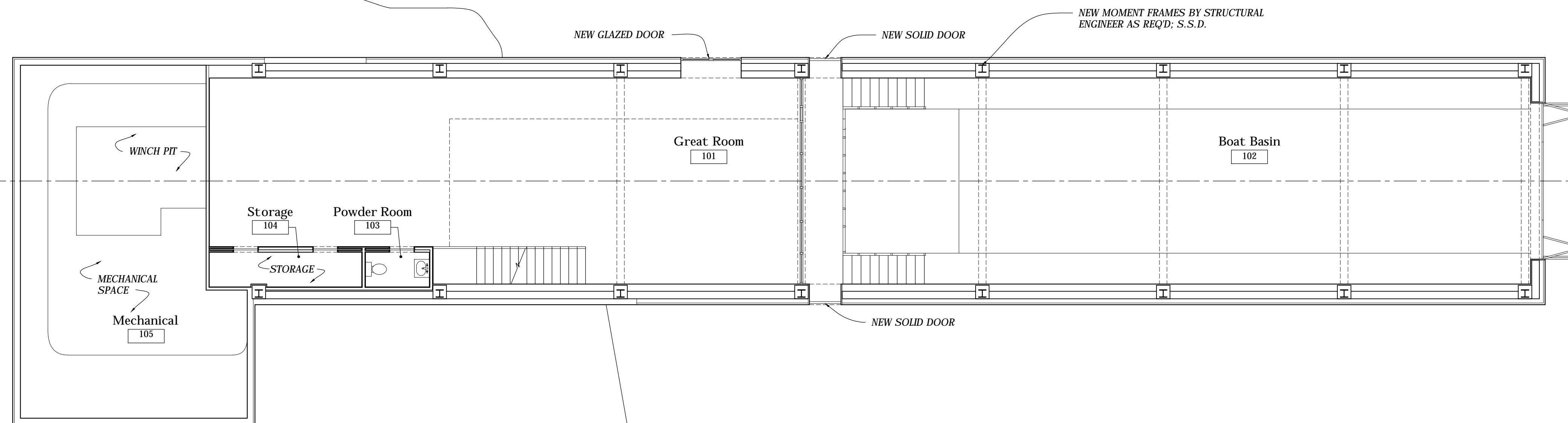
Ex1.07

STEEL COLUMN, FINISH TO MATCH EXISTING STUD FRAMING

EXISTING STUD WALL

EXISTING BOARD SHEATHING





05/24/2018

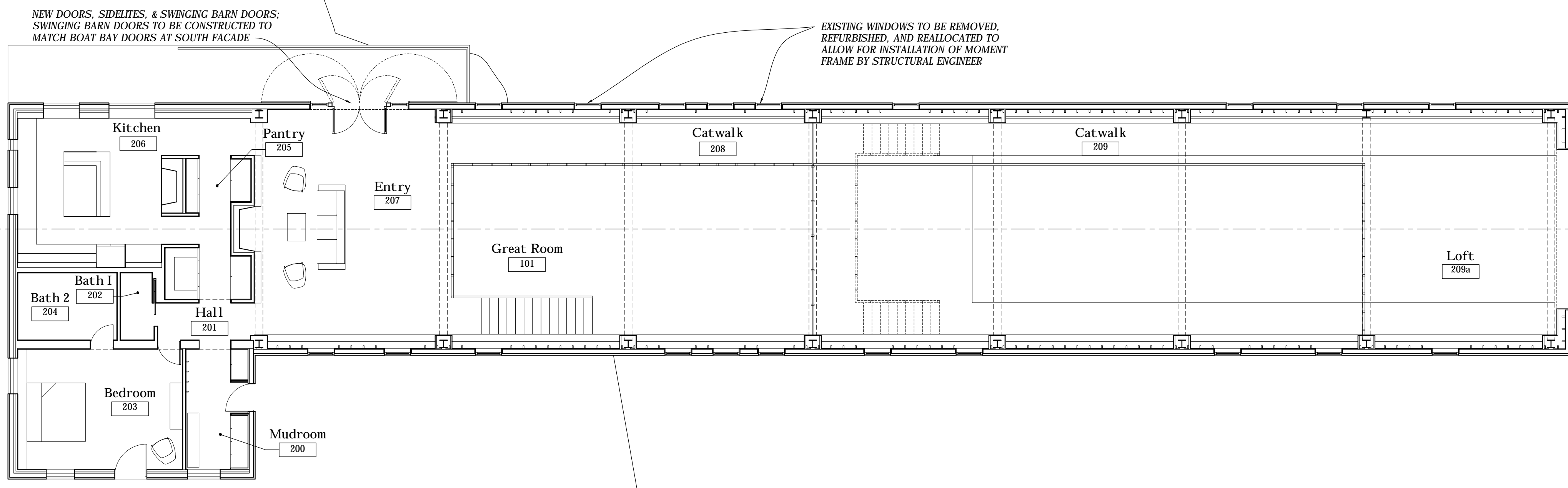
The Renovation
of
The American Boathouse
15 Atlantic Ave
Camden, ME 04843

Sheet Title:
First Floor Plan

Print Date:
May 24, 2018
Scale:
1/8" = 1'-0"
Drawn By:
AH

Sheet Number:
A-1.01

G. P. Schafer Architect, dpc
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The Renovation
of
The American Boatouse
15 Atlantic Ave
Camden, ME 04843

Sheet Title:
Second Floor Plan

Print Date:
May 24, 2018

Sheet Number:

Scale:
1/8" = 1'-0"

A-1.02

Drawn By:
AH

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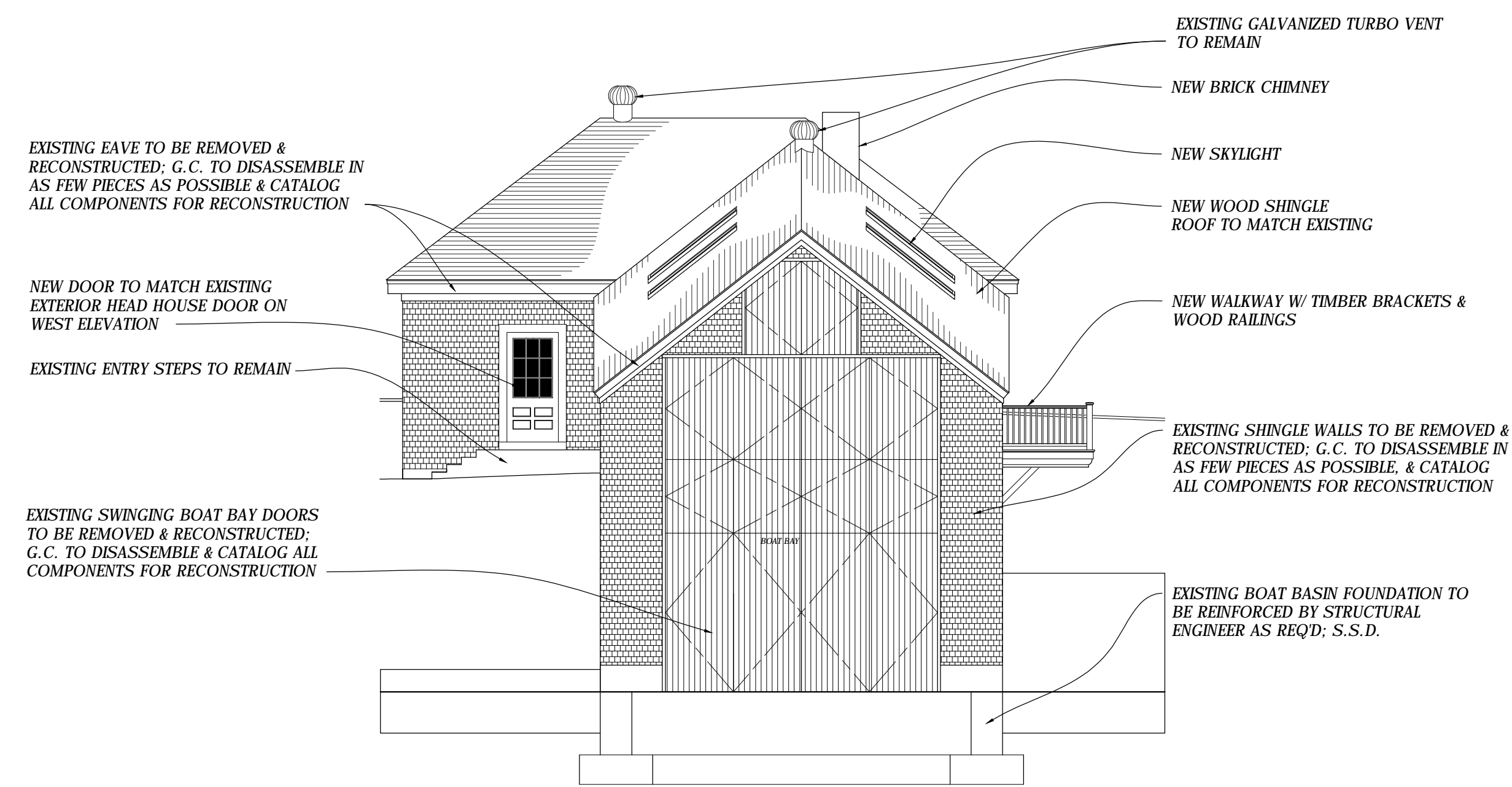
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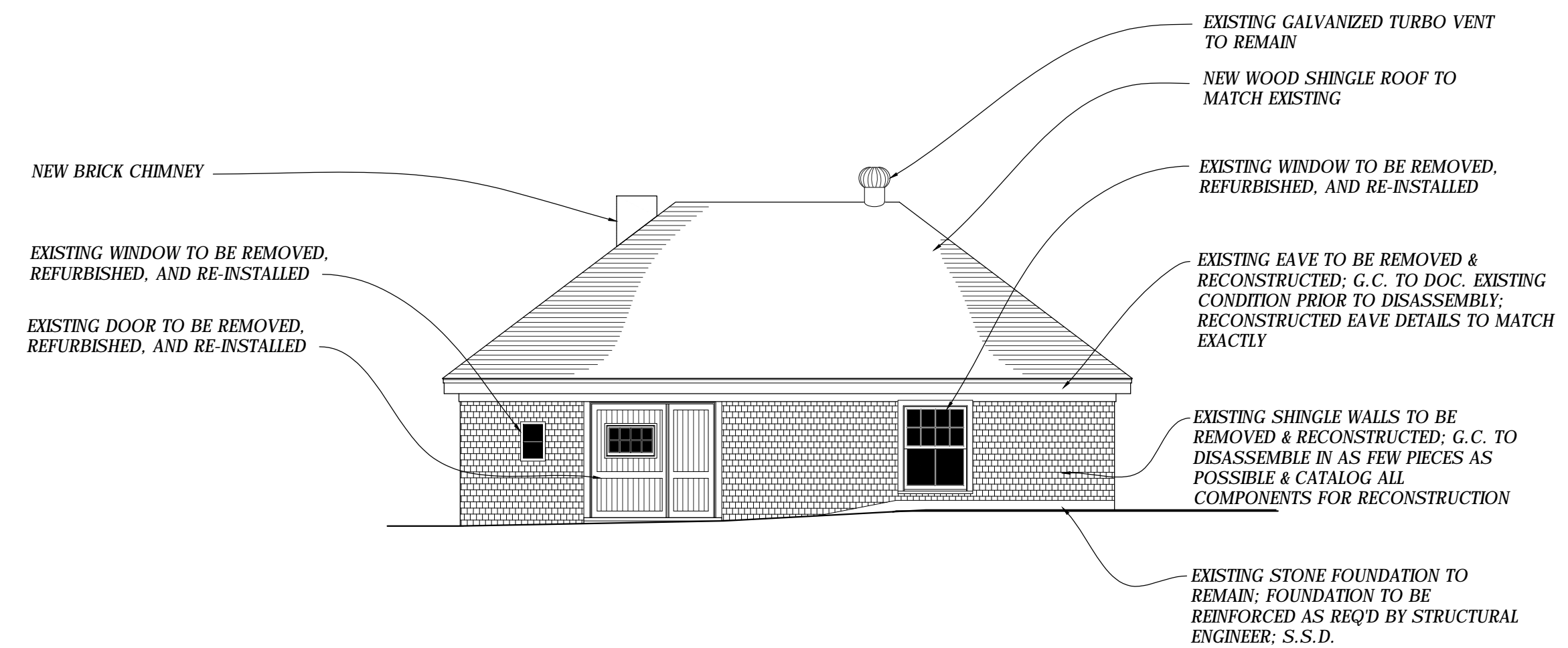
ALL WINDOWS AND DOORS TO BE PAINTED

ALL WINDOW AND DOOR TRIM TO BE PAINTED

ALL EAVE TRIM TO BE PAINTED



2 South Elevation
A-2.01 1/8" = 1'-0"



1 North Elevation
A-2.01 1/8" = 1'-0"

The Renovation
of
The American Boat House
15 Atlantic Ave
Camden, ME 04843

Sheet Title:
*Exterior Elevations
North & South*

Print Date:
May 24, 2018

Sheet Number:

Scale:
1/8" = 1'-0"

A-2.01

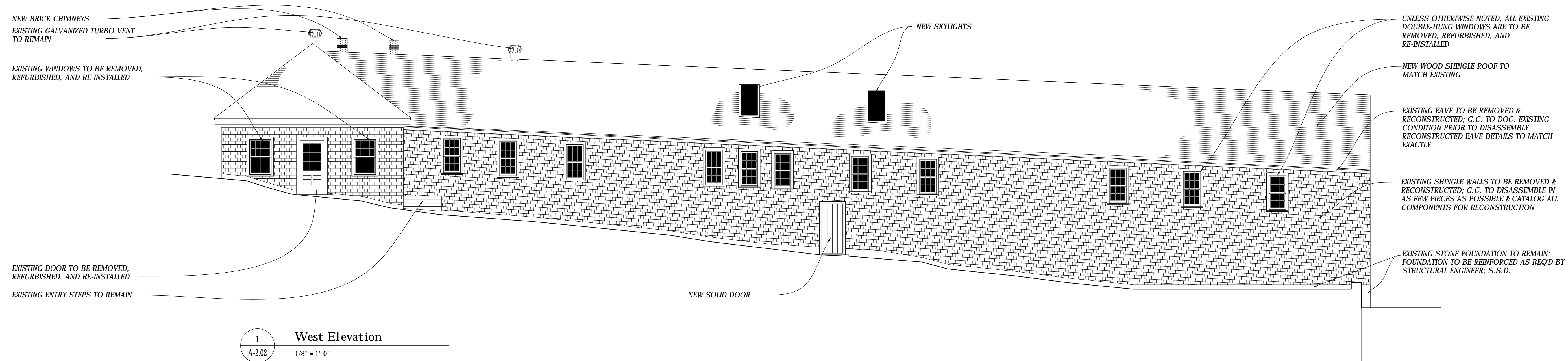
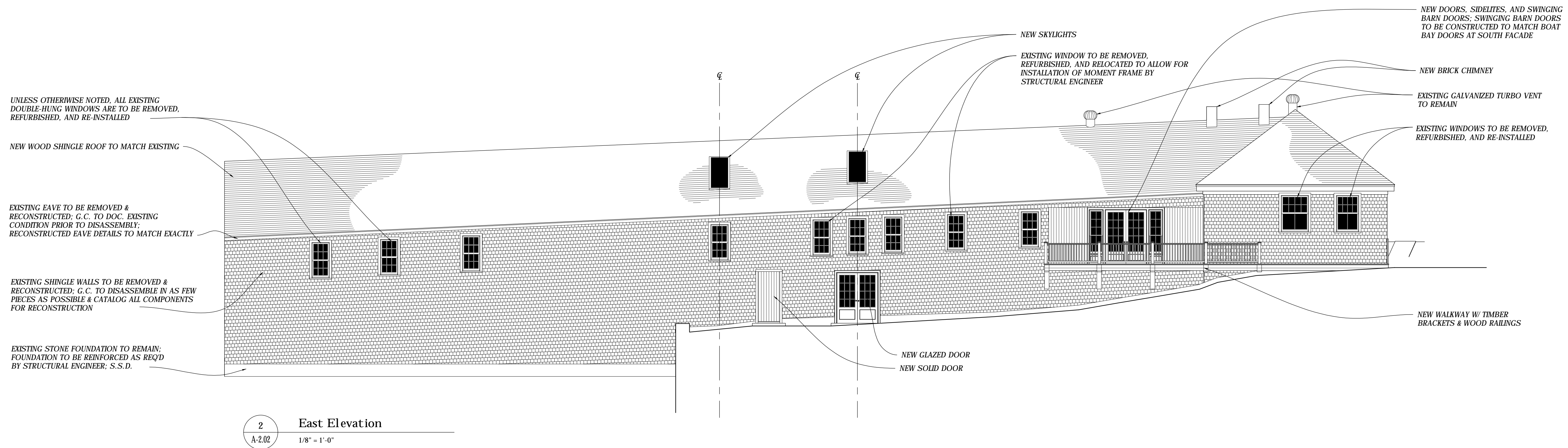
Drawn By:
AH

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EXTERIOR FINISH NOTES:

- ALL SIDING MATERIAL TO BE WHITE CEDAR; UNFINISHED & LEFT TO WEATHER
- ALL WINDOWS AND DOORS TO BE PAINTED
- ALL WINDOW AND DOOR TRIM TO BE PAINTED
- ALL EAVE TRIM TO BE PAINTED



The Renovation
of
The American Boathouse
15 Atlantic Ave
Camden, ME 04843

Sheet Title:
*Exterior Elevations
West & East*

Print Date:
May 24, 2018

Sheet Number:

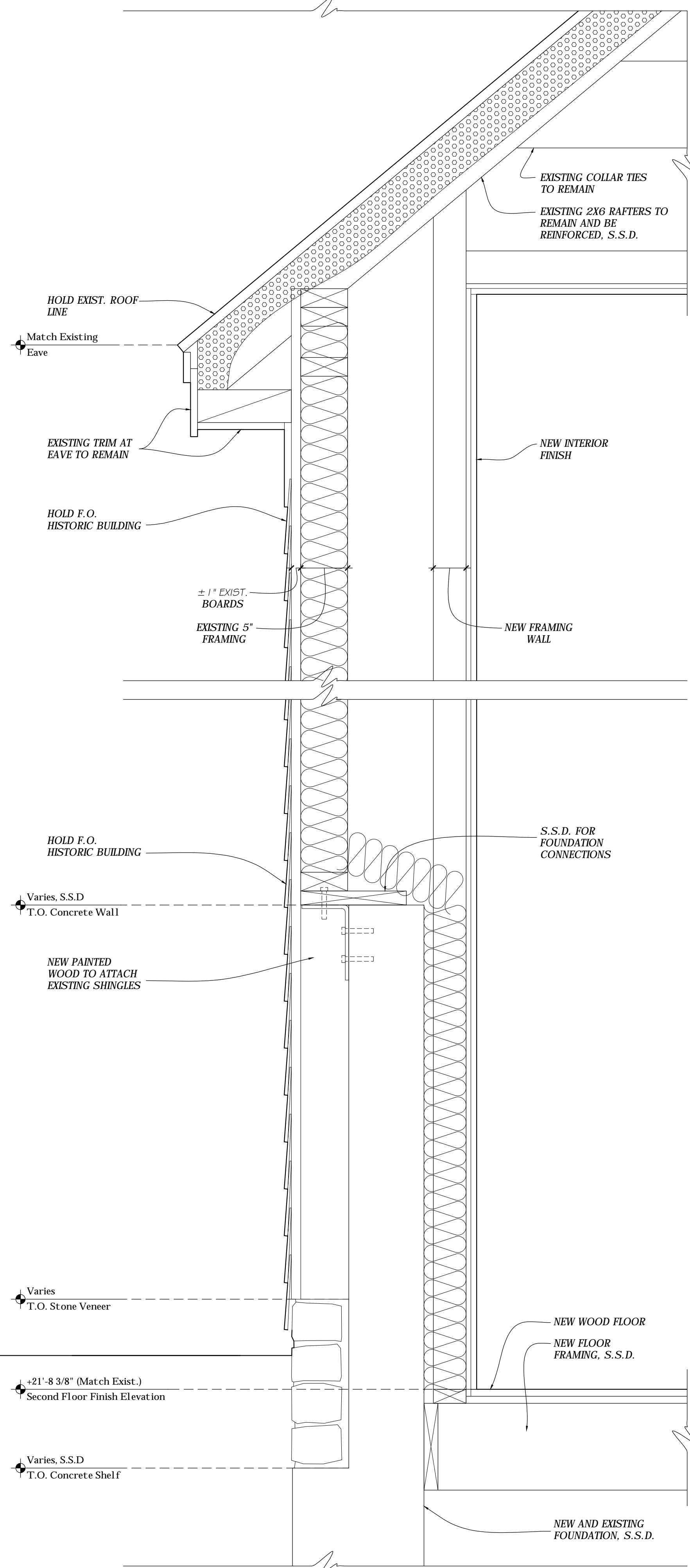
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A-2.02

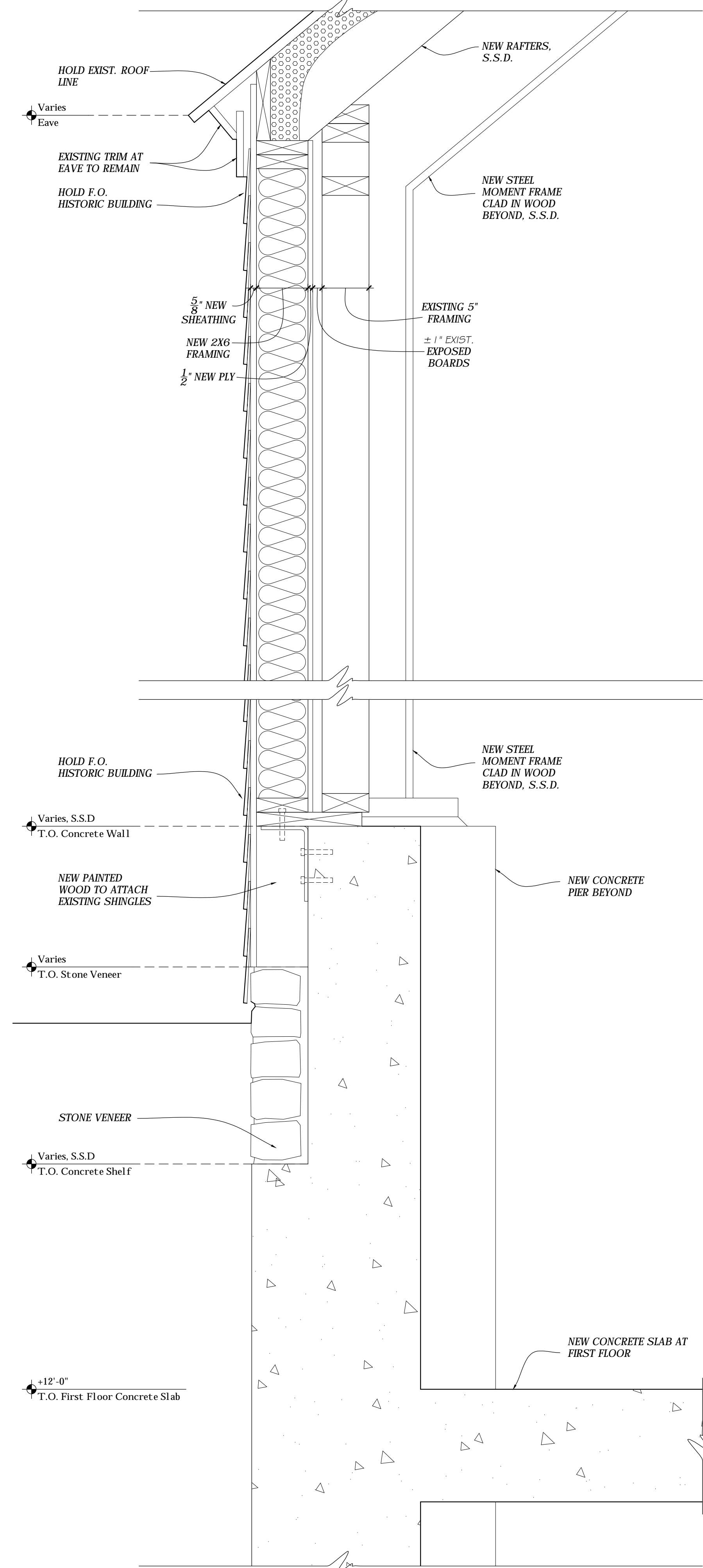
Drawn By:
AH

G. P. Schafer Architect, dpc

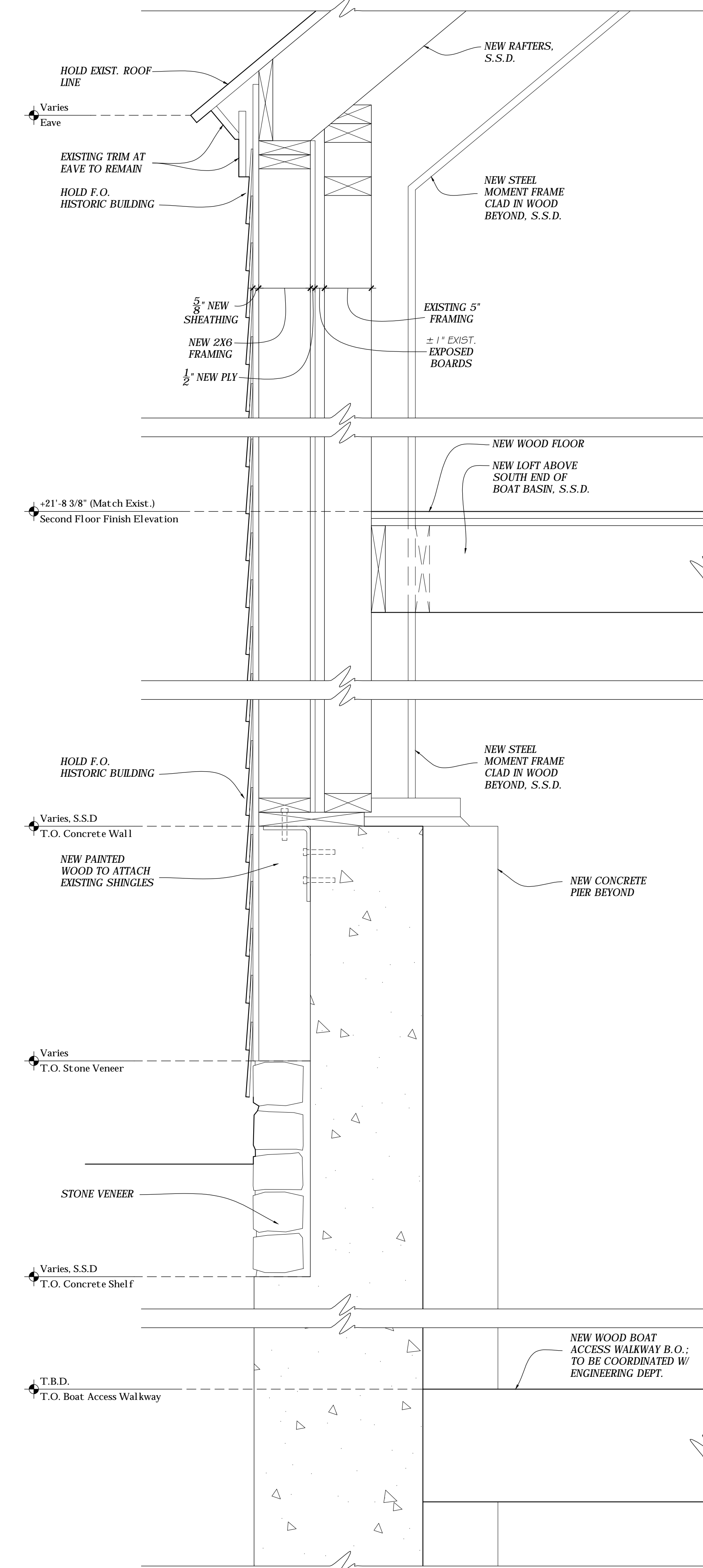
19 Union Square West
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3
A-4.01
Typ. Wall Section at Head House
1 1/2" = 1'-0"



2
A-4.01
Typ. Wall Section at Great Room
1 1/2" = 1'-0"



1
A-4.01
Typ. Wall Section at Boat Basin
1 1/2" = 1'-0"

The Renovation
of
The American Boathouse
15 Atlantic Ave
Camden, ME 04843

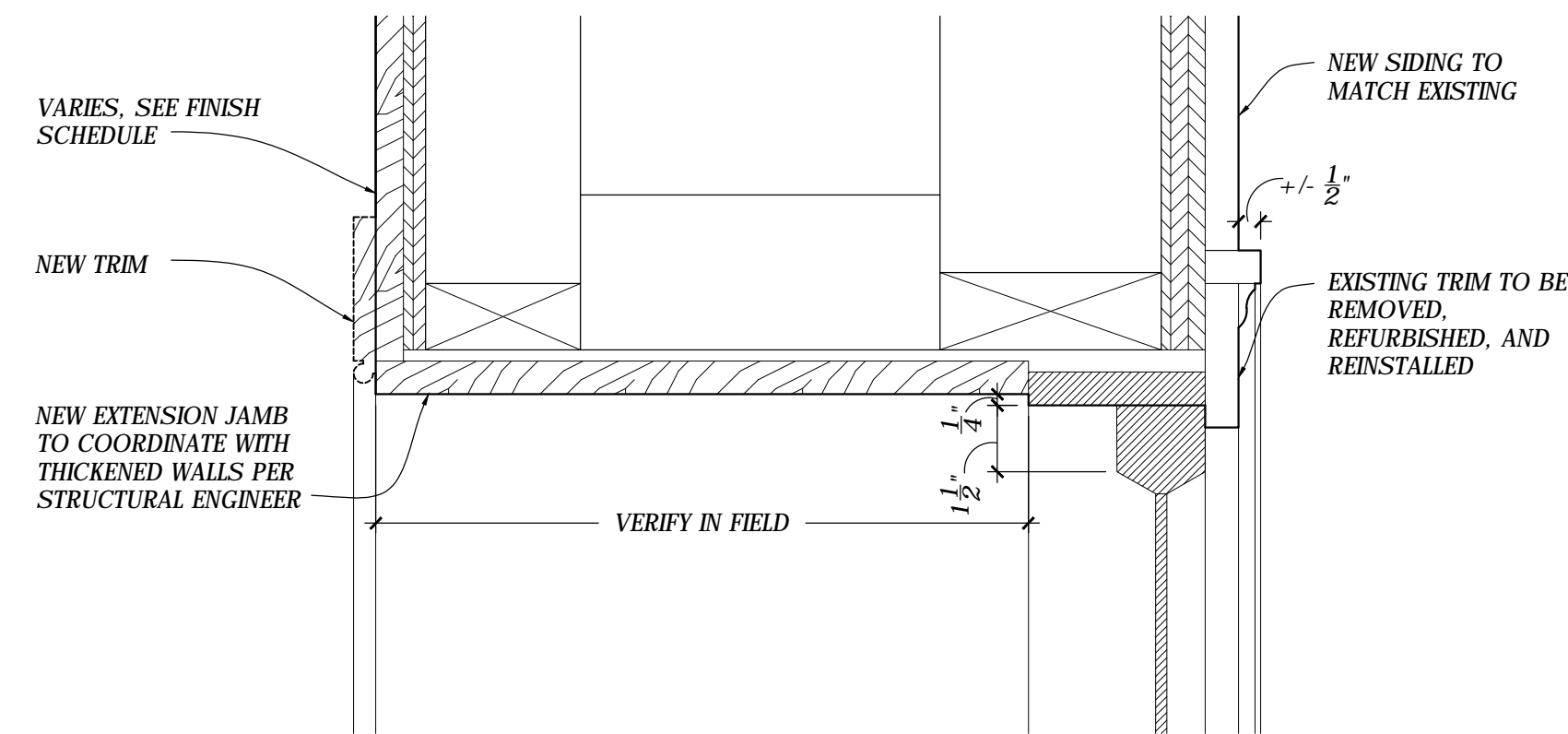
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*Typical
Wall Sections*

Print Date: May 24, 2018
Sheet Number: A-4.01

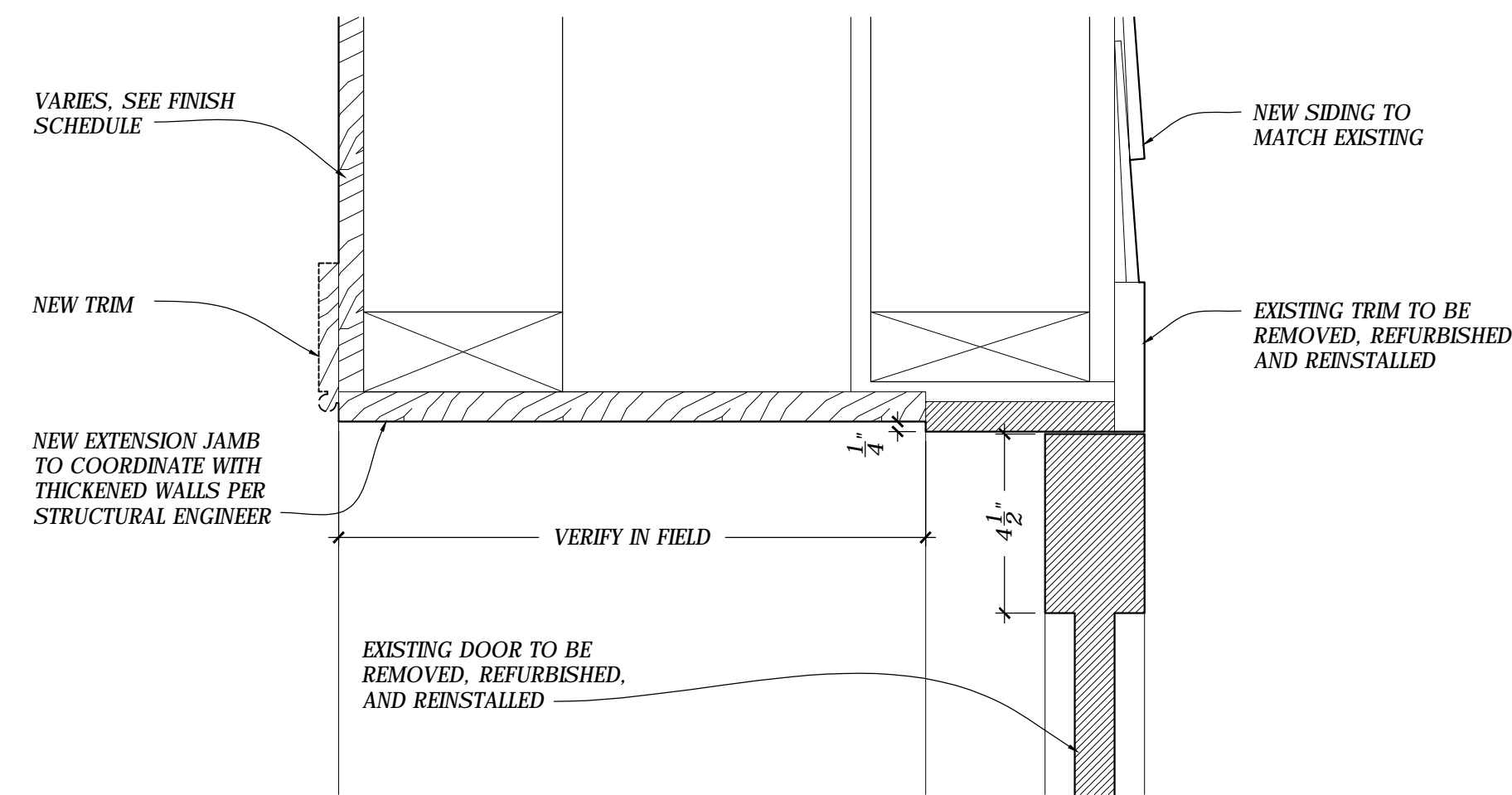
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Drawn By: PM

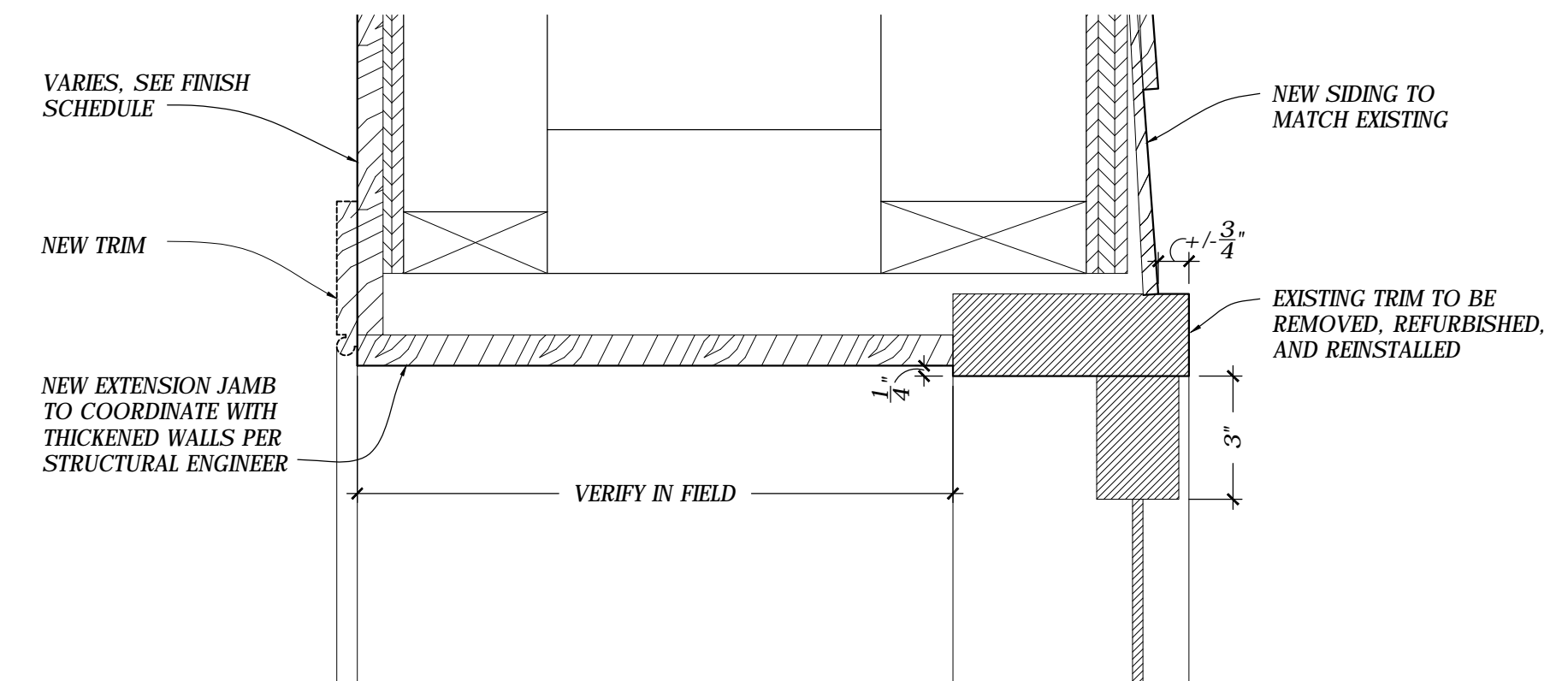
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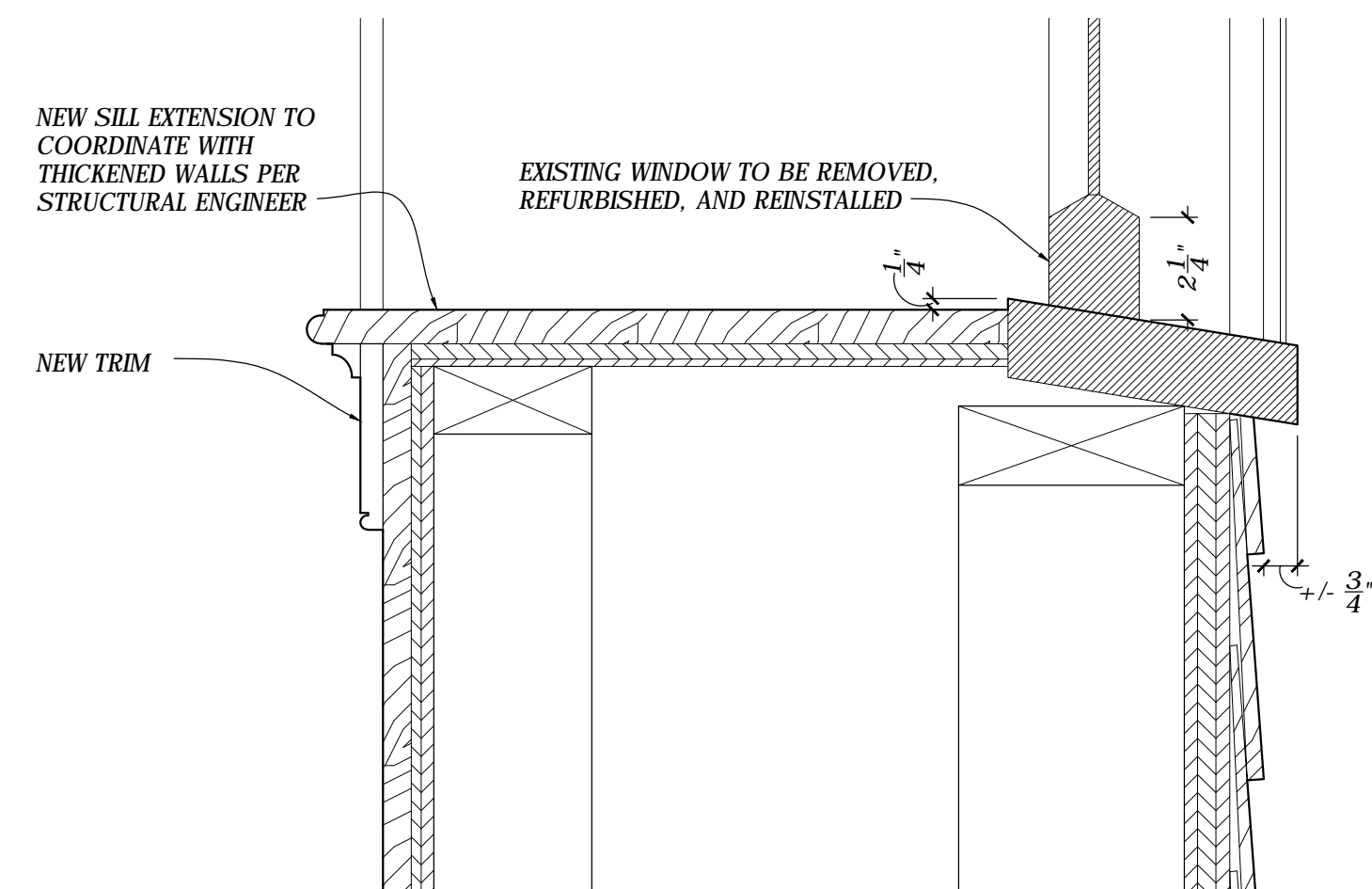
6 Jamb and Head at Hung Window
A-7.01 3" = 1'-0"



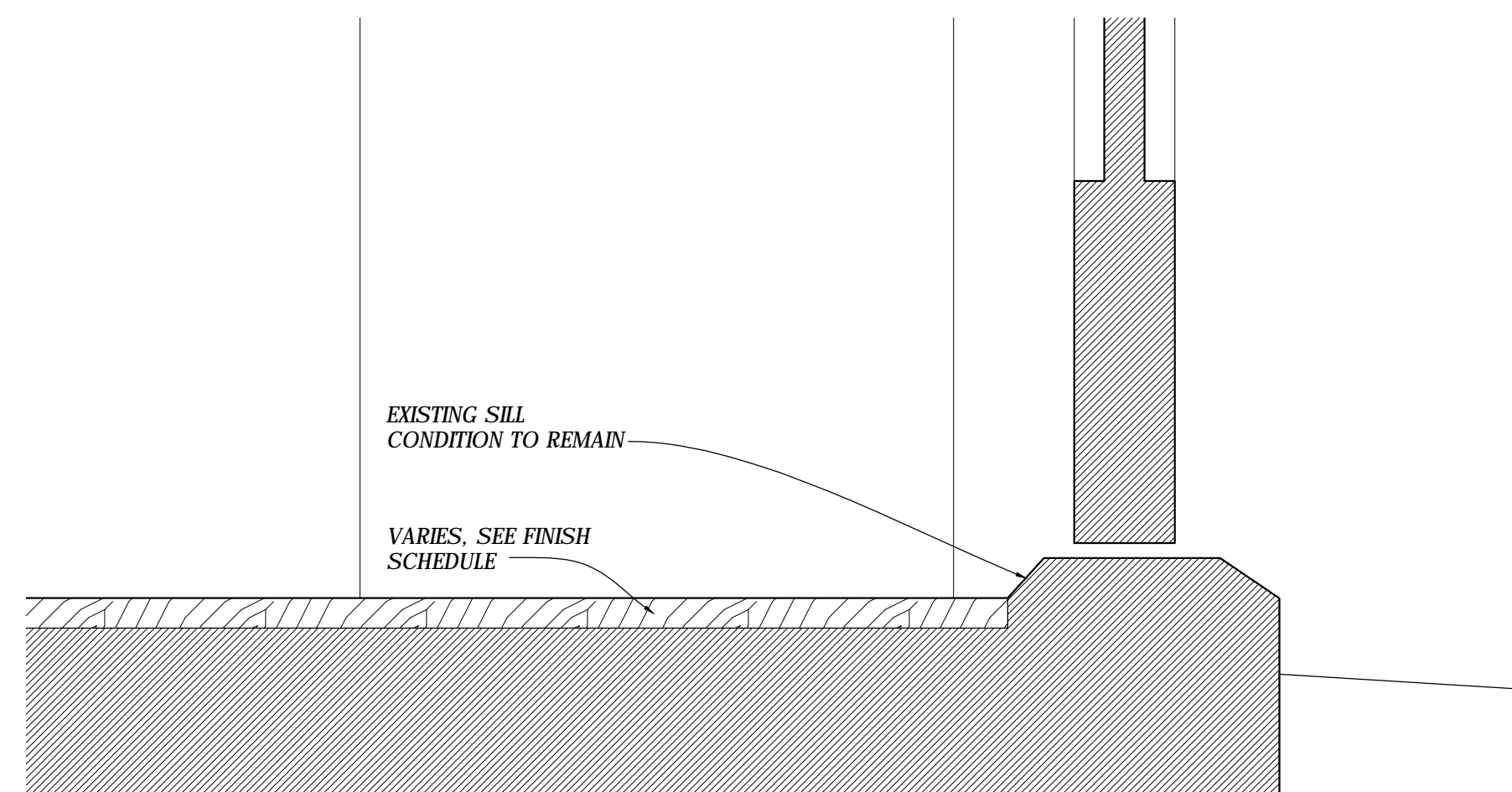
4 Jamb and Head at Door
A-7.01 3" = 1'-0"



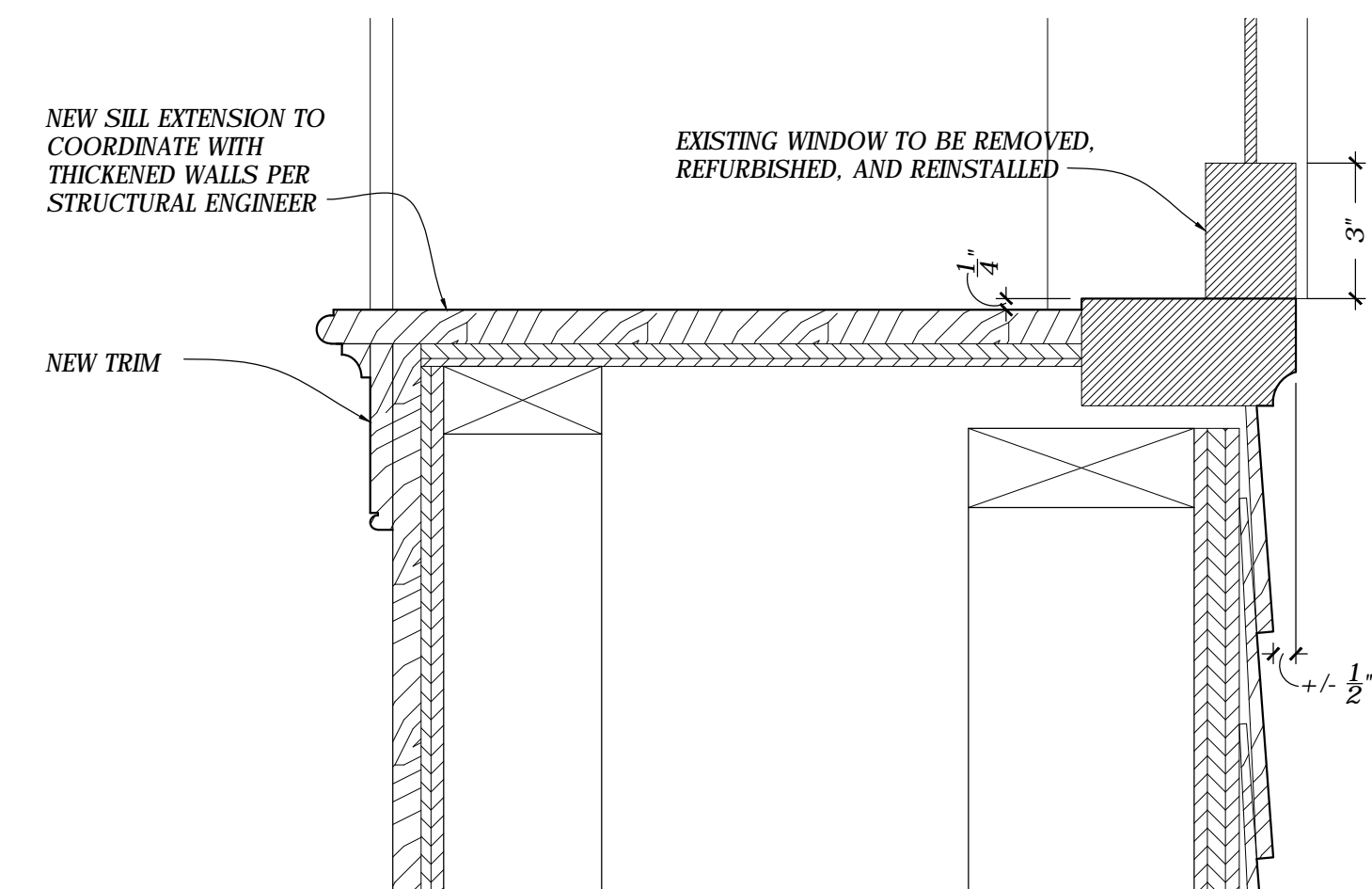
2 Jamb and Head at Fixed Window
A-7.01 3" = 1'-0"



5 Sill at Hung Window
A-7.01 3" = 1'-0"



3 Sill at Door
A-7.01 3" = 1'-0"



1 Sill at Fixed Window
A-7.01 3" = 1'-0"

The Renovation
of
The American Boathouse
15 Atlantic Ave
Camden, ME 04843

Sheet Title:
*Windows
Details*

Print Date:
May 24, 2018

Scale:
As Noted

Drawn By:
AH

Sheet Number:

A-7.01

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FINISH SCHEDULE
1808: American Boathouse
Preliminary Finish Schedule May 24th, 2018

INTERIOR FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR		WALLS		CEILING		OTHER		REMARKS	ROOM NO.
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
FIRST FLOOR											
101	GREAT ROOM	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	EXPOSED STRUCTURE w/ GYPSUM WALLBOARD AT NORTH ELEVATION	MATCH EXIST / PAINTED	EXPOSED STRUCTURE		STEEL MOMENT FRAME TO BE WRAPPED IN RECLAIMED WOOD.			101
102	BOAT BASIN	CONCRETE / WOOD DECKING	SEALED / WAX	EXPOSED STRUCTURE		EXPOSED STRUCTURE					102
103	POWDER ROOM	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	5" BEADED BOARDS	PAINTED	GYPSUM WALLBOARD	PAINTED				103
104	STORAGE	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	GYPSUM WALLBOARD	PAINTED	GYPSUM WALLBOARD	PAINTED				104
105	MECHANICAL	CONCRETE	SEALED	EXPOSED STRUCTURE		EXPOSED STRUCTURE					105
SECOND FLOOR											
200	MUDROOM	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	5" BEADED BOARDS	PAINTED	GYPSUM WALLBOARD	PAINTED				200
201	HALL	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	5" BEADED BOARDS	PAINTED	GYPSUM WALLBOARD	PAINTED				201
202	BATH 1	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	5" BEADED BOARDS	PAINTED	GYPSUM WALLBOARD	PAINTED				202
203	BEDROOM	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	GYPSUM WALLBOARD	PAINTED	GYPSUM WALLBOARD	PAINTED				203
204	BATH 2	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	5" BEADED BOARDS	PAINTED	GYPSUM WALLBOARD	PAINTED				204
205	PANTRY	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	5" BEADED BOARDS	PAINTED	GYPSUM WALLBOARD	PAINTED				205
206	KITCHEN	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	5" BEADED BOARDS	PAINTED	GYPSUM WALLBOARD	PAINTED				206
207	ENTRY	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	5" BEADED BOARDS	PAINTED	GYPSUM WALLBOARD	PAINTED				207
208	CATWALK (ABOVE GREATROOM)	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	EXPOSED STRUCTURE		EXPOSED STRUCTURE		STEEL MOMENT FRAME TO BE WRAPPED IN RECLAIMED WOOD.			208
209	CATWALK (ABOVE BOAT BASIN)	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	EXPOSED STRUCTURE		EXPOSED STRUCTURE					209
209A	LOFT (ABOVE BOAT BASIN)	9-11" RANDOM WIDTH ANTIQUE FUMED OAK	WAX	EXPOSED STRUCTURE		EXPOSED STRUCTURE					209A